

***TAMPA PALMS
COMMUNITY DEVELOPMENT DISTRICT***

***Agenda Package
Board of Supervisors Meeting***



Wednesday, January 11, 2017

6:00 P.M.

Compton Park Recreation Building

16101 Compton Drive

Tampa, Florida



TAMPA PALMS COMMUNITY DEVELOPMENT DISTRICT

CDD Meeting Advanced Package January 11th, 2017

Contents

1. Introduction
2. Agenda
3. Financial Statements
 - a. Financial Analysis
 - b. Financial Statements A/O 11/30/2016
 - c. Monthly Financial Summary
 - d. Project Driven Financial Reports
 - e. Check Registers & Other Disbursements
4. Strategic Planning and Capital Projects Planning
 - f. Strategic Planning
 - g. Significant Events
 - h. Signature 2017 Spending Plan
5. November 2016 Minutes
6. Consultant Reports
 - i. CDD Organization and Stewardship History
 - I Tampa Palms Organizational Documents
 - II Tampa Palms CDD Perspective & Metrics
 - III Tampa Palms CDD Stewardship History
 - j. Officer Appointment
 - k. Bruce B Downs
 - l. Community Appearance
 - m. Park(s) Review
 - n. Multi-Modal Path Project
 - o. Proposed Guinta Development

Tampa Palms Community Development District

**Development Planning and Financing Group
15310 Amberly Drive, Suite 175, Tampa, Florida 33647
Phone: 813-374-9102
Fax: 813-374-9106**

January 6, 2017

Board of Supervisors
**Tampa Palms Community
Development District**

Dear Board Members:

The Board of Supervisors of the Tampa Palms Community Development District is scheduled for Wednesday, January 11, 2017 at **6:00 p.m.** at the Compton Park Recreation Building, 16101 Compton Drive, Tampa, Florida. *The advanced copy of the agenda for this meeting is attached.*

Enclosed for your reviews are the minutes of the November, 2017 Budget and Board meeting(s) and the documents outlined in the table of contents.

Any additional support material will be distributed prior to the meeting, and staff will present their reports at the meeting.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Bruce StDenis

Bruce St Denis
District Manager

JD:cs

cc: Carolyn Stewart (Record Copy)

Tampa Palms CDD Meeting Agenda

**January 11, 2017, 6:00 p.m.
Compton Park Recreation Building
16101 Compton Drive, Tampa, FL 33647**

1. Welcome & Roll Call
2. Strategic Planning
3. Board Member Discussion Items
4. Public Comments
5. Approval of the November Minutes
6. Approval of District Disbursements
7. Consultant Reports
 - New Member Oath of Office
 - Officer Appointments
 - CDD Organization
 - Bruce B Downs
 - Park Reviews
 - Multi-Modal Path
8. Other Matters
9. Public Comments
10. Supervisor comments
11. Adjourn

2 months ending November 30, 2016

The District had a \$ 4.1 million cash balance, net of liabilities, at the end of the first two months of fiscal year 2016-17.

The District’s cash planning includes FY 2016-17 budgeted expenses, FY 2017-18 forecast Q1 expenses, weather and palm pest reserves, projects deferred by BBD, along with TP Signature 2017 needs and presently forecasts an unallocated fund balance of approximately \$ 1.36 million at the end of calendar year 2016. (Details disclosed below.)

(Shown as \$ 000)

District cash balance is \$ 4.1 million with the following cash projections for the year:

Sources of Funds

Balance November 30, 2016		\$ 4.107
Actual December collections	1,707	
Projected collections balance of FY 2016-17	290	1,997
Total Sources of Funds		\$ 6,104

Uses of Funds

Balance of FY 2016-17 expenses	(\$2,149)	
BBD Mitigation allocation	(1,195)	
Weather related reserves	(400)	
Palms Pests & Deferred Projects	(400)	
1 st Qtr FY 17-18 expenses	(600)	(\$ 4,744)
Total Uses of Funds		(\$ 4,744)

Projected District Unallocated Balance December 31, 2017 \$ 1,360

Calendar 2017 cash management program with Sunshine Bank has been approved with the interest rate of .65%, yielding interest income in the \$ 20-25 K range. Sunshine Bank is a State approved Qualified Public Depository Bank (QPD) offering consortium-backed security for the District funds deposited.

Outlook

The District outlook is consistent with the FY 2016-17 budget. There are no known significant budget variances that suggest performing otherwise.

**Tampa Palms CDD
Balance Sheet
November 30, 2016**

GENERAL

ASSETS:

CASH - Operating Account	\$ 268,740
PETTY CASH	500
INVESTMENTS:	
Excess Fund Account- Sunshine Bank	3,916,144
RECEIVABLE FROM TAMPA PALMS HOA	2,906

TOTAL ASSETS

\$ 4,188,291

LIABILITIES:

ACCOUNTS PAYABLE	\$ 70,063
ACCRUED EXPENSES	10,700

FUND BALANCE:

NON-SPENDABLE	-
RESTRICTED	-
UNASSIGNED:	4,107,527

TOTAL LIABILITIES & FUND BALANCE

\$ 4,188,291

**Tampa Palms CDD
General Fund
Statement of Revenue, Expenditures and Change in Fund Balance
FY2017 - For the period from October 1, 2016 through November 30, 2016**

		<u>BUDGET</u>	<u>BUDGET YEAR-TO-DATE</u>	<u>ACTUAL YEAR-TO-DATE</u>	<u>FAVORABLE (UNFAVORABLE) YTD VARIANCE</u>
REVENUES					
SPECIAL ASSESSMENTS ON ROLL (Gross)	93.00%	\$ 2,569,610	\$ 488,226	\$ 488,625	\$ 399
INTEREST		10,000	1,667	4,109	2,442
MISCELLANEOUS REVENUE		1,200	200	605	405
DISCOUNT-ASSESSMENTS	4.00%	(102,784)	(19,529)	(19,845)	(316)
TOTAL REVENUES		<u>2,478,026</u>	<u>470,564</u>	<u>473,494</u>	<u>2,931</u>
EXPENDITURES					
ADMINISTRATIVE:					
PAYROLL - SUPERVISORS COMPENSATION		11,000	1,833	1,000	833
PAYROLL TAXES - FICA		5,810	968	795	174
PAYROLL TAXES - Unempl & W/Comp Ins & Payroll Fee		5,024	837	391	446
CDD MANAGEMENT SERVICES		59,892	9,982	9,229	753
AUDITING SERVICES		6,057	-	-	-
ASSESSMENT ROLL SERVICES		10,050	10,050	10,050	-
TAX COLLECTOR FEES-ASSMTS	2.0%	51,392	9,764	9,390	374
PROPERTY APPRAISER'S FEES-ASSMTS	1.0%	25,696	-	-	-
LEGAL SERVICES		15,000	2,500	270	2,230
MISCELLANEOUS ADMIN.SERVICES (Admin + Filing fees + Bank fees)		11,000	1,833	1,255	578
DIRECTORS & OFFICERS INSURANCE		3,407	3,407	2,818	589
TOTAL ADMINISTRATIVE		<u>204,328</u>	<u>41,176</u>	<u>35,198</u>	<u>5,978</u>
FIELD MANAGEMENT SERVICES:					
ADMIN ASSISTANT		55,446	9,241	6,483	2,758
PARK ATTENDANTS		86,305	14,384	10,700	3,684
PARK PATROL		61,353	10,226	3,975	6,251
FIELD CONSULTANT		99,000	16,500	16,560	(60)
FIELD MANAGEMENT CONTINGENCY		20,000	3,333	-	3,333
TOTAL FIELD MANAGEMENT SERVICES		<u>322,104</u>	<u>53,684</u>	<u>37,718</u>	<u>15,966</u>
GENERAL OVERHEAD:					
INSURANCE		11,127	11,127	10,277	850
INFORMATION SYSTEMS (TEL & SECURITY)		21,128	3,521	2,857	664
WATER-UTILITY		13,000	2,167	2,228	(61)
REFUSE REMOVAL (SOLID WASTE)		6,159	1,027	808	218
ELECTRICITY		118,000	19,667	17,662	2,005
STREETLIGHTING EXPENSE (Includes City Portion)		-	-	-	-
STORMWATER FEE		3,500	3,500	3,046	454
MISCELLANEOUS FIELD SERVICES		13,000	2,167	1,447	720
TOTAL GENERAL OVERHEAD		<u>185,914</u>	<u>43,175</u>	<u>38,325</u>	<u>4,850</u>
LANDSCAPE MAINTENANCE:					
LANDSCAPING MANAGEMENT FEE		18,000	3,000	3,150	(150)
LANDSCAPE AND POND MAINTENANCE		942,943	157,157	133,632	23,525
LANDSCAPE REPLACEMENT		75,712	12,619	-	12,619
NPDES PROGRAM		30,149	5,025	-	5,025
TOTAL LANDSCAPE MAINTENANCE		<u>1,066,804</u>	<u>177,801</u>	<u>136,782</u>	<u>41,019</u>
FACILITY MAINTENANCE:					
IRRIGATION MAINTENANCE		88,576	14,763	23,257	(8,495)
R&M FOUNTAIN		22,895	3,816	2,861	955
FACILITY MAINTENANCE		75,712	12,619	11,091	1,527
MOTOR FUEL & LUBRICANTS		4,000	667	828	(161)
JANITORIAL/SUPPLIES		1,967	328	441	(113)
PROJECTS :					
R&R & DEFERRED MTC		188,100	31,350	19,590	11,760

**Tampa Palms CDD
General Fund
Statement of Revenue, Expenditures and Change in Fund Balance
FY2017 - For the period from October 1, 2016 through November 30, 2016**

	<u>BUDGET</u>	<u>BUDGET YEAR-TO-DATE</u>	<u>ACTUAL YEAR-TO-DATE</u>	<u>FAVORABLE (UNFAVORABLE) YTD VARIANCE</u>
<i>NPDES / CLEAN WATER</i>	50,000	8,333	-	8,333
<i>SIGNATURE TP 2017</i>	78,526	13,088		13,088
<i>CAPITAL PROJECTS</i>	188,100	31,350	9,519	21,832
TOTAL FACILITY MAINTENANCE & PROJECTS	697,876	116,313	67,587	48,725
TOTAL EXPENDITURES	2,477,026	432,148	315,610	116,538
EXCESS OF REVENUE OVER (UNDER) EXPENDITURES	1,000	38,416	157,884	119,468
FUND BALANCE - BEGINNING			3,949,643	3,949,643
FUND BALANCE - ENDING	\$ 1,000	\$ 38,416	\$ 4,107,527	\$ 4,069,112

**TAMPA PALMS CDD
CASH REGISTER
FY 2017**

Date	Num	Name	Memo	Receipts	Disbursements	Balance
			EOY cash balance 09-30-2016			333,285.11
10/03/2016	6359	DPFG	CDD Mgmt - October		5,337.94	327,947.17
10/03/2016	6360	MARY-MARGARET WILSON	Field Mgmt - October	8,280.00		319,667.17
10/03/2016	6361	REPUBLIC SERVICES	10/1-10/31 - Solid Waste		448.80	319,218.37
10/03/2016	6362	DPFG	Assessment Fee		9,663.00	309,555.37
10/04/2016		TAMPA PALMS OWNERS ASSOCIATION	Deposit	13,078.14		322,633.51
10/05/2016		FLORIDA PRIME - SBA	Funds Transfer	14,935.92		337,569.43
10/05/2016		TECO	Deposit	5.00		337,574.43
10/06/2016	ACH10062016	PAYCHEX	P/R Fees		75.14	337,499.29
10/06/2016	15043	ADISA GIBSON	BOS Mtg - 9/14/16		184.70	337,314.59
10/06/2016	15042	EUGENE R. FIELD	BOS Mtg - 9/14/16		184.70	337,129.89
10/06/2016	15044DD	James A. Schoolfield	BOS Mtg - 9/14/16		184.70	336,945.19
10/06/2016	15045DD	James P. Soley	BOS Mtg - 9/14/16		184.70	336,760.49
10/06/2016	ACH10062016	PAYCHEX	BOS Mtg - 9/14/16		124.40	336,636.09
10/06/2016			Park Membership	300.00		336,936.09
10/06/2016		BROWN & BROWN OF FLORIDA, INC.	Deposit	333.00		337,269.09
10/10/2016	6363	ABM Landscape & Turf Services	Landscape Maint - September		58,416.00	278,853.09
10/10/2016	6364	ADVANCED ENERGY SOLUTION OF	Misc. Repairs		1,066.47	277,786.62
10/10/2016	6365	ARCHITECTURAL FOUNTAINS, INC	Replace Motor - Entrance Fntn		2,284.00	275,502.62
10/10/2016	6366	AT&T	Long Distance		138.10	275,364.52
10/10/2016	6367	CLEAN SWEEP SUPPLY COMPANY	Supplies		164.86	275,199.66
10/10/2016	6368	FLORIDA FOUNTAIN MAINTENANCE, INC	Repair Pump Motor		1,206.25	273,993.41
10/10/2016	6369	FRONTIER COMMUNICATIONS	HP Fios		150.68	273,842.73
10/10/2016	6370	HOME DEPOT	Supplies		97.46	273,745.27
10/10/2016	6371	MIRACLE CLEANING SERVICES	AP Cleaning - Oct		335.00	273,410.27
10/10/2016	6372	STAPLES	Supplies		329.83	273,080.44
10/10/2016	6373	VERIZON	Sept Svcs		86.26	272,994.18
10/10/2016	6374	WESCO TURF, INC	Irrigation Parts		2,574.50	270,419.68
10/10/2016	6375	WEX BANK	Fuel - September		286.63	270,133.05
10/10/2016	6376	XEROX CORPORATION	Meter Usage		14.48	270,118.57
10/13/2016	6377	CINTAS	Mats		56.38	270,062.19
10/13/2016	6378	FRONTIER COMMUNICATIONS	Amb Pk Fios		176.15	269,886.04
10/13/2016	6379	HD SUPPLY WATERWORKS, LTD	Irrigation Parts		141.88	269,744.16
10/13/2016	6380	IRON MOUNTAIN	10/1-10/31 - Storage		159.69	269,584.47
10/13/2016	6381	TERMINEX	Pest Control		122.00	269,462.47
10/13/2016	6382	U.S SECURITY ASSOCIATES, INC	Security		5,531.27	263,931.20
10/13/2016	6383	XEROX CORPORATION	Copier Contract		111.11	263,820.09
10/14/2016	ACH10142016	PAYCHEX	P/R Fees		65.14	263,754.95
10/14/2016	15046DD	DOROTHY COLLINS	9/26-10/9 - D. Collins P/R		2,100.05	261,654.90
10/14/2016	ACH10142016	PAYCHEX	9/26-10/9 - D. Collins P/R		798.73	260,856.17
10/19/2016	6384	ABM Landscape & Turf Services	Fall annuals, irrigation Repr, mums, tree removals		81,835.05	179,021.12
10/19/2016	6385	ADEPT AIR CONDITIONING & HEATING	A/C Maint		178.00	178,843.12
10/19/2016	6386	ADVANCED ENERGY SOLUTION OF	HP DVR Reset		40.00	178,803.12
10/19/2016	6387	CINTAS	Mats		112.76	178,690.36
10/19/2016	6388	CLEAN SWEEP SUPPLY COMPANY	Supplies		31.45	178,658.91
10/19/2016	6389	FLORIDA FOUNTAIN MAINTENANCE, INC	Fntn Maint		417.38	178,241.53
10/19/2016	6390	HARDEMAN KEMPTON AND ASSOCIATES, INC	Landscape Design		3,000.00	175,241.53
10/19/2016	6391	MIRACLE CLEANING SERVICES	10/4-10/14 - CDD Cleaning		430.00	174,811.53
10/19/2016	6392	SUNSHINE STATE ONE CALL F FLORIDA	Dig Tickets		54.19	174,757.34
10/19/2016	6393	TAMPA ELECTRIC	Summary Bill - September		9,391.32	165,366.02
10/19/2016	6394	TERMINEX	Pest Control		122.00	165,244.02
10/26/2016	335	SUNSHINE BANK	Water utilities pmt- SB Oct 2016		1,179.79	164,064.23
10/28/2016	6395	ADVANCED ENERGY SOLUTION OF	Set up DVR/Adjust Camera		80.00	163,984.23
10/28/2016	6396	ARCHITECTURAL FOUNTAINS, INC	Replace SHP Motor - Manchester		425.00	163,559.23
10/28/2016	6397	CINTAS	Mats		56.38	163,502.85
10/28/2016	6398	CLEAN SWEEP SUPPLY COMPANY	Supplies		153.39	163,349.46
10/28/2016	6399	ESD WASTE2WASTER, INC	Pump Maint - July, Oct		600.00	162,749.46
10/28/2016	6400	FRONTIER COMMUNICATIONS	CDD Phone		512.19	162,237.27
10/28/2016	6401	HD SUPPLY WATERWORKS, LTD	Supplies		106.61	162,130.66
10/28/2016	6402	HOOVER PUMPING SYSTEMS	Annual Agreement		4,378.00	157,752.66
10/28/2016	6403	MIRACLE CLEANING SERVICES	10/18-10/28 - CDD Cleaning		430.00	157,322.66
10/28/2016	6404	OLM, INC	Landscape Insp		1,575.00	155,747.66
10/28/2016	6405	STAPLES	Supplies		93.54	155,654.12
10/28/2016	6406	TIMES PUBLISHING COMPANY	Legal Ad		435.50	155,218.62
10/28/2016	6407	ZEE MEDICAL SERVICE	Supplies		122.76	155,095.86
10/28/2016	6408	FRONTIER COMMUNICATIONS	HP Oct		198.74	154,897.12
10/28/2016	ACH10282016	PAYCHEX	P/R Fees		67.99	154,829.13
10/28/2016	15049	ADISA GIBSON	BOS Mtg - 10/12/16		184.70	154,644.43

**TAMPA PALMS CDD
CASH REGISTER
FY 2017**

Date	Num	Name	Memo	Receipts	Disbursements	Balance
10/28/2016	15047DD	DOROTHY COLLINS	10/10-10/23 - D. Collins		2,100.06	152,544.37
10/28/2016	15048	EUGENE R. FIELD	BOS Mtg - 10/12/16		184.70	152,359.67
10/28/2016	15051DD	James A. Schoolfield	BOS Mtg - 10/12/16		184.70	152,174.97
10/28/2016	15052DD	James P. Soley	BOS Mtg - 10/12/16		184.70	151,990.27
10/28/2016	15050	PATRICIA B. MANEY	BOS Mtg - 10/12/16		184.70	151,805.57
10/28/2016	ACH10282016	PAYCHEX	10/10-10/23 - D. Collins & BOS Mtg - 10/12/16		958.39	150,847.18
10/31/2016		SUNSHINE BANK	Service Charge		15.00	150,832.18
10/31/2016		SUNSHINE BANK	Interest	12.10		150,844.28
10/31/2016			EOM BALANCE	28,664.16	211,104.99	150,844.28
11/01/2016	6409	DPFG	CDD Mgmt - November		5,337.94	145,506.34
11/01/2016	6410	MARY-MARGARET WILSON	Field Mgmt - November		8,280.00	137,226.34
11/02/2016	6411	CINTAS	Mats		56.38	137,169.96
11/02/2016	6412	FRONTIER COMMUNICATIONS	HP Fios		150.68	137,019.28
11/02/2016	6413	HOME DEPOT	Supplies		7.94	137,011.34
11/02/2016	6414	MIRACLE CLEANING SERVICES	Amberly Pk Cleaning - November		335.00	136,676.34
11/02/2016	6415	PETE & RON'S TREE SERVICE	Debris Removal		2,200.00	134,476.34
11/02/2016	6416	SUNBELT RENTALS	Equipment Rental - (Bobcat)		689.76	133,786.58
11/02/2016	6417	VERIZON	October Svcs		86.24	133,700.34
11/02/2016	6418	WEX BANK	Fuel - October		434.74	133,265.60
11/02/2016	6419	XEROX CORPORATION	Usage		32.09	133,233.51
11/02/2016	6420	FRONTIER COMMUNICATIONS	HP Phone		205.57	133,027.94
11/08/2016	6421	ABM Landscape & Turf Services	Landscape Maint - October		58,416.00	74,611.94
11/08/2016	6422	ADVANCED ENERGY SOLUTION OF	Light Repairs		288.00	74,323.94
11/08/2016	6423	AT&T	Long Distance - October		114.44	74,209.50
11/08/2016	6424	CINTAS	Mats		56.38	74,153.12
11/08/2016	6425	CITY OF TAMPA	Stormwater Fee		3,046.30	71,106.82
11/08/2016	6426	FLORIDA FOUNTAIN MAINTENANCE, INC	Fntn Maint		417.38	70,689.44
11/08/2016	6427	IRON MOUNTAIN	11/1-11/30 - Storage		159.69	70,529.75
11/08/2016	6428	LOWE'S	Supplies		269.13	70,260.62
11/08/2016	6429	PETE & RON'S TREE SERVICE	Debris Disposal		1,100.00	69,160.62
11/08/2016	6430	REPUBLIC SERVICES	11/1-11/30 - Solid Waste		359.30	68,801.32
11/08/2016	6431	SUNSHINE STATE ONE CALL F FLORIDA	Dig Tickets		54.19	68,747.13
11/08/2016	6432	TAMPA ELECTRIC	Summary Bill - October		8,050.58	60,696.55
11/08/2016	6433	U.S SECURITY ASSOCIATES, INC			3,974.55	56,722.00
11/08/2016	6434	XEROX CORPORATION	Copier Contract		111.11	56,610.89
11/10/2016	ACH11102016	PAYCHEX	P/R Fees		70.46	56,540.43
11/10/2016	15053DD	DOROTHY COLLINS	10/24-11/06 - P/R		2,100.06	54,440.37
11/10/2016	ACH11102016	PAYCHEX	10/24-11/06 - P/R		802.89	53,637.48
11/15/2016	6435	DPFG	Annual Assessment Fee		387.00	53,250.48
11/15/2016		Deposit	Park Membership	300.00		53,550.48
11/17/2016			Transfer to operating	309,462.00		363,012.48
11/18/2016	6436	ABM Landscape & Turf Services	Tree Removal, NPDES Ersion, Irrigation, Repl		74,718.00	288,294.48
11/18/2016	6437	ADVANCED ENERGY SOLUTION OF	Misc. Electrical		80.00	288,214.48
11/18/2016	6438	ARCHITECTURAL FOUNTAINS, INC	Replace 5HP Motor		1,601.00	286,613.48
11/18/2016	6439	Arete Industries	Signs		6,518.50	280,094.98
11/18/2016	6440	BUCHANAN INGERSOLL & ROONEY	Legal Svcs		180.00	279,914.98
11/18/2016	6441	CINTAS	Mats		56.38	279,858.60
11/18/2016	6442	CITY OF TAMPA CENTRAL CASHIERING	False Alarm		40.00	279,818.60
11/18/2016	6443	DIXIE SAFE AND LOCK, INC	Keys		121.00	279,697.60
11/18/2016	6444	FLORIDA DEPT OF ECONOMIC OPPORTUNIT	Annual Filing Fee		175.00	279,522.60
11/18/2016	6445	FRONTIER COMMUNICATIONS	Amb. Pk Svcs		178.15	279,344.45
11/18/2016	6446	HOOVER PUMPING SYSTEMS	Area 1 Pump Service		158.00	279,186.45
11/18/2016	6447	MIRACLE CLEANING SERVICES	11/1-11/11 - CDD Cleaning		430.00	278,756.45
11/18/2016	6448	OLM, INC	Landscape Insp.		1,575.00	277,181.45
11/18/2016	6449	STAPLES	Supplies		280.91	276,900.54
11/18/2016		PAYCHEX	Paychex Refund	11.21		276,911.75
11/23/2016	340	SUNSHINE BANK	Water utilities pmt- SB Nov 2016		1,047.88	275,863.87
11/25/2016	ACH11252016	PAYCHEX	P/R Fees		70.46	275,793.41
11/25/2016	15054DD	DOROTHY COLLINS	11/7-11/20/16 - P/R		2,100.05	273,693.36
11/25/2016	ACH11252016	PAYCHEX	11/7-11/20/16 - P/R		802.90	272,890.46
11/30/2016	6450	ADVANCED ENERGY SOLUTION OF	Lighting Repairs		1,351.50	271,538.96
11/30/2016	6451	BUCHANAN INGERSOLL & ROONEY	Legal Svcs		90.00	271,448.96
11/30/2016	6452	CINTAS	Mats		112.76	271,336.20
11/30/2016	6453	CLEAN SWEEP SUPPLY COMPANY	Supplies		256.35	271,079.85
11/30/2016	6454	ESD WASTE2WASTER, INC	Pump Maint - November		300.00	270,779.85
11/30/2016	6455	FRONTIER COMMUNICATIONS	Phone - November		513.96	270,265.89
11/30/2016	6456	HD SUPPLY WATERWORKS, LTD	Supplies		105.97	270,159.92
11/30/2016	6457	HOME DEPOT	Supplies		150.60	270,009.32

**TAMPA PALMS CDD
CASH REGISTER
FY 2017**

Date	Num	Name	Memo	Receipts	Disbursements	Balance
11/30/2016	6458	MIRACLE CLEANING SERVICES	11/15-11/29 - CDD Cleaning		525.00	269,484.32
11/30/2016	6459	VSC FIRE SECURITY	Annual Fire Extinguisher Insp.		210.00	269,274.32
11/30/2016	6460	WEX BANK	Fuel		393.15	268,881.17
11/30/2016	6461	FRONTIER COMMUNICATIONS	HP Fios		150.68	268,730.49
11/30/2016		SUNSHINE BANK	Interest	9.77		268,740.26
11/30/2016		EOM BALANCE		309,782.98	191,887.00	268,740.26

**TAMPA PALMS CDD
FINANCIAL SUMMARY THRU NOVEMBER 30, 2016
GENERAL FUND**

(Shown in \$)	<u>Normal Operations</u>	<u>Non-Operating Project Driven</u>	<u>Total As Reported</u>
<u>Revenues</u>			
Operating	\$ 372,865		\$ 372,865
<u>Non Operating</u>			
Capital Projects		35,745	35,745
Renewal & Rel		35,745	35,745
Signature 2017		14,923	14,923
NPDES		9,502	9,502
Interest	4,109.09		4,109
Misc Rev	605.00		605
City Payments- Streetlight			-
Carry Forward Bal *			
Total	\$ 377,579	\$ 95,915	\$ 473,494
<u>Expenses</u>			
Operations	286,502		286,502
<u>Non Operating</u>			
Renewal & Rel		19,590	19,590
NPDES/EPA		0	0
Capital Projects		9,519	9,519
TP Signature 2017		<u>0</u>	<u>0</u>
Total	286,502	29,109	315,610
Excess Revenue Vs Expenses	91,077	66,806	\$157,884

**TAMPA PALMS CDD
FINANCIAL SUMMARY THRU NOVEMBER 30, 2016
GENERAL FUND**

<u>General Fund</u>	11/30/2016	(\$000)
Cash		269
Cash Equivalent (Excess Cash ICS)		3,916
Due From TPOA		3
Total		\$ 4,188
Less:		
Payables		70
Accrued Expenses*		11
	Net Cash 11/30/2016	\$ 4,107
Allocation for:		
Winter Damage		200
Wind/Hurricane Damage		200
Palm Pests**		200
Deferred Projects ***		200
TP Signature 2017		1,195
	Adjusted Net Cash	\$ 2,112
	Forecast	

(\$ 000)	2015-16 Fiscal Year		Monthly Bal
	<u>Receipts</u>	<u>Expenses</u>	
<i>Dec</i>			
CDD Operations	1358	210	
R&R	130	45	
NPDES	35	25	
Signature 2017	54	45	
Capital Projects	130	45	
Total	1,708	370	\$ 3,450
<i>Jan</i>			
CDD Operations	142	195	
R & R	12	25	
NPDES	4	11	
Signature 2017	0	21	
Capital Projects	13	12	
Total	170	264	\$ 3,356
<i>Feb</i>			
CDD Operations	0	198	
R & R	0	13	
NPDES	0	7	
Signature 2017	0	21	
Capital Projects	0	10	
Total	0	249	\$ 3,107

* Park Attendant Billing

** Palm Treatment and Replacement Identified as Future Liability

*** Projects planned but deferred due to three year construction window

**TAMPA PALMS CDD
NOVEMBER 30, 2016**

GENERAL FUND

(\$000)	<u>Prior Year Collected %</u>	<u>Current Year Collected \$</u>	<u>Current Year Collected %</u>	<u>Variance % Fav (Unfav)</u>
October				
November	17%	469	19%	2.0%
December	19%			
January	93%			
February	94.7%			
March	95.0%			
April	98.0%			
May	98.3%			
June	99.7%			
July	99.7%			
August	99.7%			
September *	99.7%			
Year End				
Total Assessed (Net Discount)		\$2,467		

Summary- Project Driven Expenses

2 Months Ending November 30, 2016

Operating Capital Projects	(\$000)
<u>Sources of Funds</u>	
FY 2016-17 Budget	\$188
<u>Uses of Funds</u>	
Spent Thru 11/30/16	7
11/30/16 Commitments	<u>29</u>
Total Funds Spent & Committed	\$36
Budget Available as of 11/30/2016	\$152
Renewal & Replacement	
<u>Sources of Funds</u>	
FY 2016-17 Budget	\$188
<u>Uses of Funds</u>	
Spent Thru 11/30/2016	20
11/30/2016 Commitments	<u>0</u>
Total Funds Spent & Committed	\$20
Budget Available as of 11/30/2016	\$169
TP Signature 2017 Capital Projects	
<u>Sources of Funds*</u>	
FY 2016-17 Budget	\$79
<u>Uses of Funds</u>	
Spent Thru 11/30/2016	0
11/30/2016 Commitments	<u>25</u>
Total Funds Spent & Committed	\$25
Budget Available as of 11/30/2016	\$54

**Capital Projects 2016-17
Budget Monitor**

30-Nov-16

(\$000)	5 Year Model	Current Projects	Spent 2016-17	Committed To Spend
Tampa Palms Signature Projects (BB Downs)				
Consulting Services	61	25	-	25
Main Entry Restorations	615	60	-	89
Irrigation	233	-	0	-
Bruce B Downs Improvements	287	-	-	-
Sub-Total TP Signature 2017	\$1,195	\$85	\$0	\$25
Capital Projects				
Consulting Services			3	
Irrigation Upgrades	150	-	-	-
Parks	250	110	0	16
Landscape & Lighting	175	90	-	-
Signs, Infrastructure & Lighting	275	145	7	13
Sub-Total Capital Projects	850	\$345	\$10	\$29
Total TP Signature & Capital Projects	*	\$430	\$10	\$54

* Five Year Model

\$1,195	Signature TP 2017
\$850K	Capital Projects

**Capital Projects Budget Detail
Month Ending November 30, 2016**

Tampa Palms Signature Projects (BB Downs)	5 Year Model	Current Projects	Spent 2016-17	Committed To Spend
Consulting Services				
Design Impl Oversight				-
Prelim BB Downs / Area 2 Designs		25,000		25,000
Main Entry Lighting Designs				-
<i>Sub Total</i>	60,520	25,000	-	25,000
Main Entry Restorations				
Area 1 Entry Hardscape	250,790	-		-
Area 1 & 2 Landscape	240,000	25,000		-
Area 2 Entry (Corner Property + Pond)	124,176	35,000		-
<i>Sub Total</i>	614,966	60,000	-	-
Irrigation				
Area 1 Main Line Relocation	93,583			-
Area ! & 2 Irrigation & Wiring Adjustments	139,034			-
<i>Sub Total</i>	232,617	-	-	-
Bruce B Downs Improvements				
Pedestrian Fencing	286,897	-		-
<i>Sub Total</i>	286,897	-	-	-
Sub-Total Tampa Palms Signature 2017	\$ 1,195,000	\$ 85,000	\$ -	\$ 25,000
Standard Capital Projects				
Consulting Services				
Design Implementation Oversight			3,000	
<i>Sub Total</i>			3,000	
Irrigation Upgrades [\$150-200]				
Wiring, Upgrades & Additional Zones	150,000	-		-
Area 1 Pump Station Filters				-
<i>Sub Total</i>	150,000	-		-
Parks [\$200-250]				
Amberly Perimeter Fencing Landscape	-	3,699		
Camera Systems (Including CDD)	-	40,000		6,961
Oak Park Path Paving				-
Amberly Picnic Table/Seats	-	12,655		8,775
Hampton Tennis Court Enhancements		37,000		
<i>Sub Total</i>	250,000	109,844		15,736
Landscape & Lighting [\$150-200]				
Landscape Enhancements	175,000	-		-
Palm Investments				-
<i>Sub Total</i>	175,000	90,000		-
Signs, Infrastructure & Lighting [\$150-200]				
LED Upgrades Plus Installation	125,000	125,000		-
Misc ROW Sign				-
Monument Structure Enhancements	150,000	-		-
Wildlife & Protected Species Signs		20,000	6,519	13,482
<i>Sub Total</i>	\$275,000	\$145,000	\$6,519	\$13,482
Sub-Total Normal Capital Projects	\$850,000	\$344,844	\$9,519	\$29,218
Total TP Signature 2017 & Standard Capital Projects	\$2,045,000	\$429,844	\$9,519	\$54,218
		(\$000)		
	5 Year Model	FY 2013-14	FY 2016-17	
Signature TP 2017	\$1,195	\$380	\$0	
Capital Projects	\$850	\$110	\$10	

Each month the Board is provided for its review a list of the projects activities and plans that have materiality for the District. This is provided along with anticipated dates, expected outputs and responsible parties.

The January edition follows.

	<u>Next Step</u>	<u>Date</u>	<u>Responsible</u>
I Bruce B Downs Mitigation Projects- Signature 2017			
<u>1) Area 2 Entrance Pond</u>			
a) Construction & Structure Design	Monitor Progress & Report	Jan	Staff
b) Littoral Plantings			
Design Review & Prelim Pricing	Review w/ Board	Jan	Staff/ J Rinard
Schedule Plantings	Hold for County / Contractor / Water	TBD	Staff/ Contractor
c) Pond Perimeter Plantings			
Design Review & Prelim Pricing	Review w/ Board	Jan	Staff/ J Rinard
Preliminary Budget Reviewed	Board Approval	Feb	Supv Maney/Board
Schedule Irrigation & Plantings	Hold for County	TBD	Staff/ Contractor
d) Trees & Shrubs (Church Buffer)			
Design Review & Prelim Pricing	Review w/ Board	Jan	Staff/ J Rinard
Preliminary Budget Established	Board Approval	Feb	Supv Maney/Board
Schedule Irrigation & Planting	Hold for County	TBD	Staff/ Contractor
e) County Authority To Improve Sample Contract To CDD Legal County Negotiations	Update Board Approval to Proceed	Feb TBD	Staff/Board Staff/ J Rinard

Next StepDateResponsible**I Bruce B Downs Mitigation Projects- Signature 2017****2) Area 2 General Entrances**

a) Area 2 Hardscape (BB Downs Corner)	Consider Options	Feb-Mar	Staff/ J Rinard
b) Area 2 Entrance (BB Downs Corner) Landscape Options	Consider Options	Mar	Staff/ J Rinard
c) Area Roadway Bricks Establish Price and Timing Negotiate w/ COT & County	Board Review/Approval Receive Approval	Feb Feb	Staff/ Board Staff
d) Boulevard & Entry Street Lighting	Hold For Final Entry Designs	Mar	Staff/J Rinard
e) Area 2 Entrances (Amberly Corner) Landscape Options	Consider Options	Mar	Staff/ J Rinard

	<u>Next Step</u>	<u>Date</u>	<u>Responsible</u>
<u>3) Area 1 Entrance</u>			
a) Area 1 Exit Side -Taking Area Hardscape Replacement Options Refine & Price Designs	Hold for Const Progress Review With Board	TBD Jan	Staff/J Rinard Staff/ J Rinard
b) Area 1 Exit Side -Taking Area Landscape Replacement Options Refine & Price Designs	Consider Designs Review With Board	TBD Jan	Staff/ J Rinard Staff/Board
c) Area 1 Entry Side - Landscape Replacement Options Refine & Price Designs	Consider Designs Review With Board	TBD TBD	Staff/ J Rinard Staff/ J Rinard
d) Boulevard & Entry Street Lighting	Hold For Final Entry Designs	TBD	Staff/J Rinard
<u>3) BB Downs / Amberly Entries</u>			
a) Landscape Replacement Options	Consider Designs	TBD	Staff/ J Rinard
b) Sign Replacements (No Trucks)	Monitor & Report	TBD	Staff

Tampa Palms CDD

Strategic Planning

Jan 6, 2017

Next Step

Date

Responsible

4) BB Downs Pedestrian Fencing

- | | | | |
|----------------------------------|---------------------------|-----|-------|
| a) Construction Timeline- Area 2 | Update Board | Feb | Staff |
| b) Construction Timeline- Area 1 | Monitor Progress & Report | Feb | Staff |

II Capital Projects

- | | | | |
|--|----------------------|------------|----------------|
| 1) Wayfinding & Misc Signs
Area 2 Entry (Sig 2017 Area 2 Above) | Design Options | TBD | Staff/Soley |
| 2) LED Landscape Lighting
Phase III | Future Consideration | TBD | Staff/J Rinard |
| 3) Village Entry & Blvd Restorations
Process & Progress | Review W/ Board | Jan | Maney / Staff |

V. Park Reviews

- | | | | |
|---------------------------|-----------------|------------|--------------|
| 1) Park Updates General | Report to Board | Jan | Staff |
| 2) Hampton Safety Surface | Report to Board | Jan | Staff/ Soley |

Tampa Palms CDD

Strategic Planning

Jan 6, 2017

	<u>Next Step</u>	<u>Date</u>	<u>Responsible</u>
3) Wind Sail Replacement	Report to Board	TBD	Staff/ Soley
4) Amberly Improvements	Report to Board	Jan	Staff/Soley
5) New Guard Service On Station	Report to Board	Jan	Staff

III NPDES Projects

1) Control Structure Inspection Project	Review Options W/ Board	Feb	Staff/
Upgrade Project	Review Options W/ Board	Mar	Staff/T Stewart

IV Weather Resistant Turf & Landscape

1) Assessment YTD Weather Impacts	Implement cure projects	Ongoing	Maney/Staff
2) Landscape Pests/Problems/ Weather Impacts	Report To Board	Jan	Maney/Staff
Palm Tree Pests	Report To Board	Feb	Maney/Staff

VI. Multi-Model Paths

1. Options - Design Phase	Report to Board	Jan	Staff/ J. Soley
2. Present to City	Report to Board	Feb	Staff/ J. Soley

TP CDD Planning Horizon

Significant Events

Jan, 2017

FY 2016 -17

- Enhanced Website Requirements For CDDs Go Into Effect
- Lane and Entry Blockage- Area 1 & 2 BB Downs Construction
- BB Downs Northbound Lanes Open (Jan-Feb)
- Area 2 Pond Complete (Apr-May)
- Area 1 Entry Hardscape Improvements
- Amberly Entrance Improvement
- Southern Segment BBD Complete (July- Aug)
- Playground Updates (Hampton)
- Landscape Renewal Continues (10 Year Cycle)

FY 2017 -18

- Multi-Modal Path Improvements
- Area 2 Entry Improvements
- Possible Playground Updates (Amberly)
- NPDES Renewal (NOI Development)

Update BB Downs Mitigation

This report is filed monthly to update the Board Members as to the status of funds - both availability and committed - for the Signature Tampa Palms 2017 projects.

After consultation with the Chairman, an additional \$300 K was included to provide for the mitigation of unforeseen events, the consequence of the widening project, and is displayed below.

Financial Impact Report- Jan, 2017

Funds Available A/O Jan, 2017

\$1,195 K

Estimated Timing By Project- Jan, 2017

Opening Balance	FY 2013-14	FY 2014-15	FY 2015-16	FY 2016-17	FY 2017-18
	\$1,195,000	\$814,520	\$760,520	\$760,486	\$184,696
Consulting & Design Svcs				\$50,000	\$10,520
Irrigation Relocation	93,583				
Area 1 Entry- Landscape				\$65,000	\$35,000
Area 1 Pillars, Fencing & Lighting				\$125,000	
Area 2 Pillars, Fencing & Lighting				\$90,790	
Irrigation- General & Repairs		\$54,000	\$34	\$50,000	\$35,000
Area 2 Entry Landscape					\$45,000
Area 2 Entry Fountain				\$65,000	
Area 2 Entry - Littoral Plantings					\$59,176
Area 2 Pond - Landscape				\$95,000	
Area 2 Entry- Roadway Bricks				\$35,000	
BB Downs Fencing	286,897				
S/T By Fiscal Year	\$380,480	\$54,000	\$34	\$575,790	\$184,696
Total All Projects	Actual	Actual	Acutal	Forecast	Forecast

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28

**MINUTES OF MEETING
TAMPA PALMS
COMMUNITY DEVELOPMENT DISTRICT**

5 The Regular Meeting of the Board of Supervisors of the Tampa Palms Community
6 Development District was held on Wednesday, November 9, 2016 at 6:00 p.m. at the
7 Compton Park Recreation Building, 16101 Compton Drive, Tampa, Florida.

8
9 **FIRST ORDER OF BUSINESS - Welcome & Roll Call**

10 Mr. Field called the meeting to order.

11 The Board members introduced themselves for the record.

12
13 Present and constituting a quorum were:

14 Gene Field	Chairman
15 Jim Soley	Vice Chairperson
16 Patty Maney	Supervisor
17 Mike Gibson	Supervisor
18 Jake Schoolfield	Supervisor

19
20 Also present were:

21 Maggie Wilson	Consultant
22 Bruce St Denis	District Manager
23 Jessica Vaughm	Supervisor-Elect
24 Don Oneal	
25 Chris Ferguson	
26 Warren Dixon	
27 Several Unnamed Residents	

28
29 Mr. Field established that a quorum of the Board was present.

30
31 **Pledge of Allegiance**

32 Ms. Maney led the recitation of the Pledge of Allegiance.

33
34 **SECOND ORDER OF BUSINESS – Strategic Planning**

35 Mr. Field reviewed the most current strategic plans, focusing on those issues which
36 have immediate impact. The full strategic plans and significant events were included in the
37 advance Board Package; a copy of which is attached hereto and made a part of the public
38 record.

39
40 **THIRD ORDER OF BUSINESS - Board Member Discussion Items**

41 There being none, the next item followed.

1 **FOURTH ORDER OF BUSINESS - Public Comments**

2 There being none, the next item followed.

3

4 **FIFTH ORDER OF BUSINESS - Approval of the October, 2016 Minutes**

5

6 On MOTION by Mr. Soley, SECONDED by Mr Schoolfield, WITH ALL IN FAVOR, the
7 Board approved the Minutes of the October, 2016 Board Meeting.

8

9 **SIXTH ORDER OF BUSINESS - Approval of District Disbursements**

10 A copy of the Board Financial Analysis, Financial Statements and Check Register are
11 attached hereto and made a part of the public record. Mr. Field noted that the check register
12 had been reviewed.

13

14 On MOTION by Mr. Soley, SECONDED by Mr. Schoolfield, WITH ALL IN FAVOR, the
15 Board approved the September, 2016 Disbursements in the Amount of \$ \$209,185.84

16

17 **SEVENTH ORDER OF BUSINESS - Consultant Reports**

18

19 ♦ **Bruce B Downs**

20

21 Ms. Wilson reviewed the progress and and the next
22 steps, noting among other things how the new northbound
23 lanes are giving owners a glimpse of how the finished
24 product will appear.



25

26 Ms. Wilson stated that more complete information
27 as to completion dates will be available in the coming
28 month.

27

28 ♦ **Community Appearance**

29

30 Ms. Wilson review the progress of the fall annuals and
31 recently planted poinsettias. It was noted that the continuing
32 and record-breaking heat made planting a bit tricky.



32

33

34

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32

Ms. Wilson and Ms. Maney noted that there is an alarming incidence of oak trees that appear in some form of decline. Ms. Maney, calling on resources from the U of F IFAS, Auburn U School of Agriculture and others, notes that:

- There are many different types of oaks represented in Tampa Palms, laurel oak, live oak, sand live oak, water oak, and white oak.
- Oak trees in Tampa Palms may not have universally received the proper pruning in their “youth” to make certain solid establishment and proper growth. Their placement was also questionable in many cases.

Community Appearance

Species	Life Span
Water Oak	30-50
Live Oak	150-200
Laurel Oak	50-70
Turkey Oak	50-70

Urban Forest

- Species-Specific Life
- Reduced Life Span
- Tampa Palms Trees Are Old

Typical Stages - Individual Trees May Vary

Infancy Youth Prime Middle-Age Twilight Death

Point of Pruning Live Oaks Laurel Oaks Water Oaks Today Today Today

Ms. Wilson reviewed information about the stages of tree life and showed pictures of some trees in decline. It was determined that there was little action to take: really none - except to trim dead dying branches and when branch drop becomes a danger remove the tree.

Community Appearance

Typical Stages - Individual Trees May Vary

Infancy Youth Prime Middle-Age Twilight Death

Point of Pruning Live Oaks Laurel Oaks Water Oaks Today Today Today

◆ **Multi-Modal Path**

Ms. Wilson advised that Jason Rinard is finishing up the last portion of his evaluation / recommendation phase for the paths in Tampa Palms. While there are many solutions, there are some areas where the wrong plant (large oak trees) were planted in the wrong space (between walls and the sidewalk with insufficient space to grow). It appears that some trees may have to be removed between the Sanctuary and Stonington.

Multi-Modal Path

Report Under Development

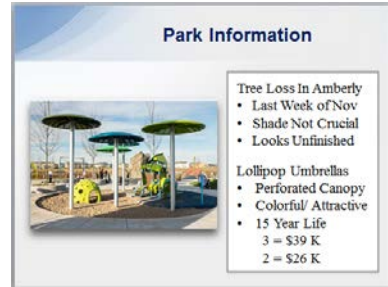
- Preliminary
- Numerous Adjustments
- Critical Area
 - Sanctuary → Stonington
 - Wrong Trees/Wrong Places
 - Few Options

Ms. Vaughn asked how many trees and Ms. Wilson replied that there was no firm count but that an estimated was 39 trees. The action taken will be a City decision.

◆ **Park Report**

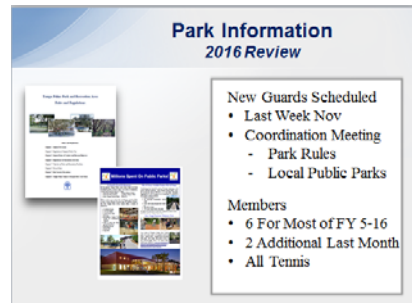
1 Ms. Wilson returned to the matter of the tree Amberly
2 Park which had to be removed and discussed options to
3 replace it, noting that shade was not critical but the area looks
4 unfinished.

5 The recommendation was made for lollipop type
6 umbrellas that have the endorsement of Jason Rinard, TP
7 Landscape and Park Consultant. Ms. Vaughn cautioned about colors that would be cool and
8 Ms. Wilson said she would make certain that happened, noting that there are air vents in the
9 canopies and that no dark colors would be considered.



11 On MOTION by Mr. Schoolfield, SECONDED by Mr. Soley, WITH ALL IN FAVOR, the
12 Board approved the purchase of three “lollipop style umbrellas from LSI the Amount of
13 \$39,000.00.

14
15
16 Ms. Wilson reviewed plans for new park guard
17 provider and also the various media that the guards and
18 attendants have to counsel visitors who do not live in Tampa
19 Palms as to the location of public parks



20
21 **◆ Banking Relationship**

22
23 Ms. Wilson reported that the calendar year 2016 cash
24 management agreement negotiated with Florida Bank expires
25 January 2017.. The chairman normally oversees review of
26 the cash management plan and has done so this time.



27 The Board-established cash management priorities
28 previously used as a basis for this review are as follows:

- 29 1) Safety of taxpayer funds
- 30 2) Internal process controls...supporting no-comment audits
- 31 3) Timely payment of vendors
- 32 4) Respectable return on working capital

33

1 Ms. Wilson advised that with the help of one of the supervisors reviewed cash management
2 options for 2017 were reviewed with the current service provider, Sunshine Bank, and offers
3 requested from six other institutions. She noted that there was little enthusiasm for such
4 discussions by both the large, nation-wide institutions and even the local banks.

5

6 Two of the banks have responded with offers.

7 The Sunshine Bank which is the current provider, offered: (See attached letter)

- 8 - 65 basis points on deposits which are fully FDIC insured
- 9 - 5 basis points on funds maintained in the checking account
- 10 - 12 month commitment
- 11 - Minimum \$2.5M balance or possible re-negotiation of rate.

12 Stonegate Bank a Pompano Beach headquartered bank which is expanding into the area.
13 They offered:

- 14 - 35-40 basis points on deposits which are fully FDIC insured
- 15 - Back office requirements that do not meet CDD needs vis a vis the Orlando financial
16 staff.

17 Other banks approached that did not make offers include:

18 Northside Bank - declined to make an offer at this time but asked to be considered in
19 the future.

20 Platinum Bank (recently acquired by another bank) appeared to be in the midst of
21 reorganization and did not engage.

22 Bank of Tampa - did not return calls or emails.

23 Iberia Bank - declined to make an offer at this time but asked to be considered in the
24 future.

25 Seaside National Bank - concluding merger, declined to make offer at this time.

26

27 Ms. Wilson noted that the recommendation is that Tampa Palms proceed with the
28 Sunshine Bank offer, as it best fits for the needs of Tampa Palms.

29

30 After discussion by the Board

31

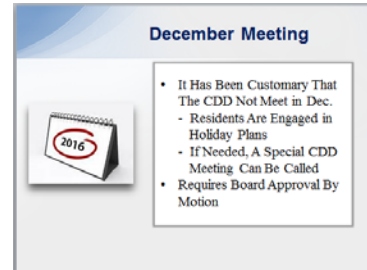
32 On MOTION by Mr. Gibson, SECONDED by Ms. Maney, the REMAINING FOUR
33 BOARD MEMBERS approved the Sunshine Bank Offer.

34

1 ♦ **December Meeting**

2
3 Ms. Wilson stated it has been the policy to cancel the
4 December meeting.

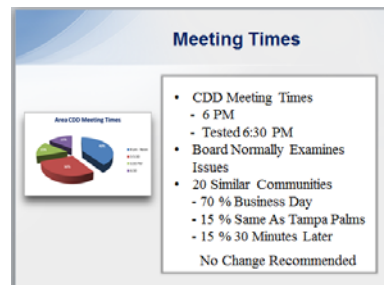
5 It was noted by Ms. Wilson that after proper noticing
6 the Board can call a special meeting if circumstances requiring
7 one arise.



8
9 On MOTION by Mr. Schoolfield, SECONDED by Mr. Soley WITH ALL IN FAVOR, the
10 Board cancelled the December meeting.

11
12 ♦ **CDD Meeting Times**

13
14 CDD meetings times were brought up at the last
15 meeting. In keeping with the policy of listening to all input
16 and examining all issues, staff reviewed the issue from three
17 separate perspectives:

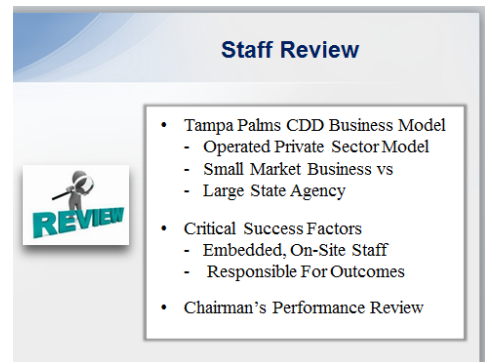


- 18 1. Tampa Palms history of meeting times.
- 19 2. The times and dates of other similarly circumstanced communities.
- 20 3. Input from (a) some of those who happened to call the CDD and (b) solicited input
- 21 from community leaders.

22 Ms. Wilson noted that based on the research detailed in the advance book, there was no staff
23 recommendation for change but noted that the Board can change the time - and date and even
24 frequency - of the meetings and can do so by motion. The Board took no action.

25
26 ♦ **CDD Staff Review**

27
28 Chairman Field advised that the District
29 employs a private-sector business model unique to
30 Florida CDDs. District favorable outcomes are
31 produced by repeatable, reliable business systems and
32 processes...and dedicated, capable staff.



1 He noted that the CDD’s success is built on private-sector initiatives, experience,
2 broad skill sets and “do-what-it-takes attitude”. Staff total compensation will be competitive
3 with the private sector, including employee benefits.

4 Chairman Field proposed a \$1,500 increase for the Administrative Assistant on salary
5 only.

6 On MOTION by Ms. Maney, SECONDED by Mr. Gibson, WITH ALL IN FAVOR, the
7 Board approved an annual increase effective October 1 for the Administrative Assistant of
8 \$1,500.

9
10 Chairman Field further proposed a \$2,000 the District Consultant. The chairman noted that
11 the consultant is an independent contractor, with zero employment costs incurred by the
12 Tampa Palms.

13
14 On MOTION by Mr. Schoolfield, SECONDED by Mr. Soley, WITH ALL IN FAVOR, the
15 Board approved an annual increase effective October 1 for the District Consultant of \$2,000.

16
17
18 ♦ **Sunshine and Governance**

19
20 Ms. Wilson briefly reviewed the Sunshine Law
21 requirements that apply to all Board members. Ms. Wilson will
22 represent the Tampa Palms CDD-specific governance documents
23 in the January packet.



24
25 ♦ **Herbicide on the Power Corridor**

26
27 Ms. Wilson reviewed the recent use of herbicide by Duke Energy on their portion of
28 the power corridor.

29 Upon examination it appeared that there was targeted spraying of sapling oak trees.

- 30 - This was done property not under CDD jurisdiction.
31 - The work was not completed by the CDD’s landscape partner, ABM.

32
33
34 **Additional Advanced Board Package Materials:**

35 Information regarding financial reports were included in the Advance Board package;
36 copy of which is attached hereto and made a part of the public record.

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35

EIGHTH ORDER OF BUSINESS – Other Matters

There being none, the next item followed.

NINTH ORDER OF BUSINESS – Public Comments

Don O’Neal asked a question about who provided maintenance services for the median north of Tampa Palms in the vicinity of Hunters Green, was it the City or the County? He also asked if there could be some cleanup for the southbound areas of BB Downs.

Ms. Wilson advised she had read that there was an interlocal agreement whereby the City was assuming maintenance responsibility but she did not know the effective date. She also advised that none of the southbound areas had been released for improvements, reminding everyone that one two more southbound lanes must be built and the medians.

Mr. O’Neal thought AstroTurf might be a good option for te area in front of South Trust Bank.

TENTH ORDER OF BUSINESS - Supervisor Comments

Mr. Gibson congratulated Mr. Schoolfield and Mr. Field on a job well done vis a vis the banking agreements.

ELEVENTH ORDER OF BUSINESS - Adjournment

There being no further business,

On MOTION by Mr.Schoolfield, SECONDED by Mr. Soley, WITH ALL IN FAVOR, the meeting was adjourned.

**These minutes were done in summary format.*

**Each person who decides to appeal any decision made by the Board with respect to any matter considered at the meeting is advised that person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.*

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19

Meeting minutes were approved at a meeting by vote of the Board of Supervisors at a publicly noticed meeting held on _____.

Signature

Bruce St Denis
Printed Name

Title:
 Secretary
 Assistant Secretary

Signature

Gene Field
Printed Name

Title:
 Vice Chairperson
 Chairperson

CDD Organization Matters

Organization Documents

The Tampa Palms CDD adopted organizational documents/statements that serve to establish the purpose of the organization (Mission Statement), define the organizational objectives that reflect and flow naturally from the purpose of the organization (Direction Statement) and those standards which form the foundation on which the Board conducts itself (Core Values). Board Members assume roles that oversee the framework or context within which the District's strategies are formulated (Leadership Roles).

From time to time the Board reviews the CDD organization documents to assure that the documents reflect current thinking and are consistent with the direction the Board is leading the community.

With the recent Board election and in conjunction with the restatement of Board officers which follows, staff is provide the Tampa Palms CDD organization documents

Please find for your review the attached:

- Mission Statement
- Core Values
- Direction Statement
- Board Leadership Roles

If there are any changes that more clearly reflect CDD stewardship, please advise staff so that any modifications can be discussed as part of the January meeting Agenda.

Tampa Palms CDD Perspective & Metrics

The Tampa Palms CDD is a complex organization with widely disparate assets on which the residents of 4,611 housing units depend (single family, condominium, townhomes, and apartment homes).

In Section II following, there is a thumbnail sketch of the areas and assets that make up the Tampa Palms CDD.

Tampa Palms CDD Stewardship History

Rigorous adherence to the adopted Mission and Direction for the CDD, framed by the adopted Core Values, has resulted in substantial and measurable value to the owners and residents of Tampa Palms.

The chairman has created a compendium of the district value created for the last fourteen years. It is substantial. Please see Section III following.

Tampa Palms CDD

CDD Direction Statement

Last Revised
(1/13/16)

Provide timely and effective leadership to protect and preserve the safety and quality of life in Tampa Palms, mitigating the impact of externally-driven changes.

Tampa Palms CDD

Last Revised
1/13/16

Mission Statement

Provide respected and effective leadership for the continuous improvement of Tampa Palms I & II, in statute-authorized CDD responsibilities:

- assessment and collection of taxes & revenues
- protection and maintenance of CDD assets

Tampa Palms CDD

Last Revised
(1/13/16)

Core Values

We are accountable to our residents for our decisions, actions and inactions.

We work as a team and with the community, committed to open and honest communication, mutual support and respect for each other.

We are a growing and learning organization committed to change and innovation to provide the best possible community for our residents.

We help each other listen, to understand our resident expectations and do all we can to meet them.

We are accountable to the community, for the integrity of all financial reports and communications.

We will be vulnerable in front of our residents to have the public debate required to make the best decisions.

Board Leadership Roles

Jan 11, 2017

Leadership

Field

Financial Management

Facilitate Board oversight role by providing:

- Development and analysis of annual operating budgets.
- Definitive and actionable interim account reports.
- Balance sheet analysis related to Board decisions.
- Cash flow projections related to short and long-term plans.
- Oversight of up-to-date five year directional plans.
- Direction of district resource allocation.
- Analysis of annual audits and internal controls.
- Provide financial leadership and direction to the rebranding effort, particularly as relates to Signature 2017 efforts.

Board Leadership Roles

Jan 11, 2017

Leadership

Local and State Government Liaison

Vaughn

- Monitor CDD mission
- Leadership in resident education of CDD responsibilities vs. TPOA
- Monitor changes to laws regarding CDDs
- Coordinate Tampa Palms interests with City Council members.
- Monitor transportation changes and their impact on Tampa Palms, particularly traffic safety.
- Monitor web site adherence to State requirements
- Co-ordinate staff liaison with TPOST 3 and TP North to assure achievement of common goals.
- Provide leadership and direction to the rebranding effort from the perspectives of Tampa Palms and greater community liaison.

Board Leadership Roles

Jan 11, 2017

Leadership

Landscaping and Community Appearance

Maney

- Monitor landscape maintenance performance and coordinate with OLM.
- Develop, implement & monitor routine improvement activities.
- Develop, implement & monitor a community program to evolve the Tampa Palms community to drought-resistant and winter resistant landscape.
- Provide leadership and direction to the rebranding effort (Signature 2017) from a landscape perspective.
- Work with staff and consultants to develop, implement and monitor Board programs to continually revitalize and keep fresh community landscape.

Board Leadership Roles

Jan 11, 2017

Leadership

Irrigation System & NPDES

Gibson

- Observe irrigation system performance as reported by staff and assume leadership role before Board in the of event failure.
- Monitor preventive maintenance programs (such as Sunshine OneCall) and District response to problems.
- Monitor compliance with watering restrictions and annual usage restriction reporting.
- Monitor emerging NPDES requirements.
- Oversee changes in NPDES requirements and the District plans to comply.
- Work with staff and consultants to develop, implement and monitor programs to continually revitalize irrigation.
- Provide leadership and direction to the rebranding effort from the perspective of the complex irrigation system infrastructure.

Board Leadership Roles

Jan 11, 2017

Leadership

Infrastructure and Facility Oversight

Soley

- Work with staff and consultants to develop, implement and monitor Board-approved programs to continually enhance entrances, community lighting and other infrastructure.
- Identify community infrastructure needs with staff & residents
- Work with staff and consultants to develop, implement and monitor Board-approved programs to continually enhance parks.
- Monitor construction and development activities in and near Tampa Palms to assure best interests of the community are served.
- Assume an overall leadership role in the rebranding of Tampa Palms from a project design perspective

Tampa Palms CDD Perspective

5 Member Board, Elected for Four-Year Terms

Focused Mission..... Empowered by Florida Statutes

Sunshine Laws AKA Open Meeting Laws

Organization Foundation: Written

Mission, Core Values, Direction Statement, Five Year Models

Board Leadership: Shared.... Centers of Excellence

Annual Financial & Internal Audit Control

Fourteen-Years No Comment Audits

12-Dec-16

Tampa Palms CDD Metrics

20 miles of Irrigation Systems

12 million Sq. Ft. of Turf, Ponds & Beds

100,000 Annuals

10,000 Sprinkler Heads

2,700 acres of Turf, Ponds & Conservation

400 Lights

3,000 Trees

143 acres of landscape tracts and medians

70 Retention Ponds

54 cul de sacs

3 Parks Hampton, Amberly & Oak

30-Nov-16

Tampa Palms CDD Stewardship History

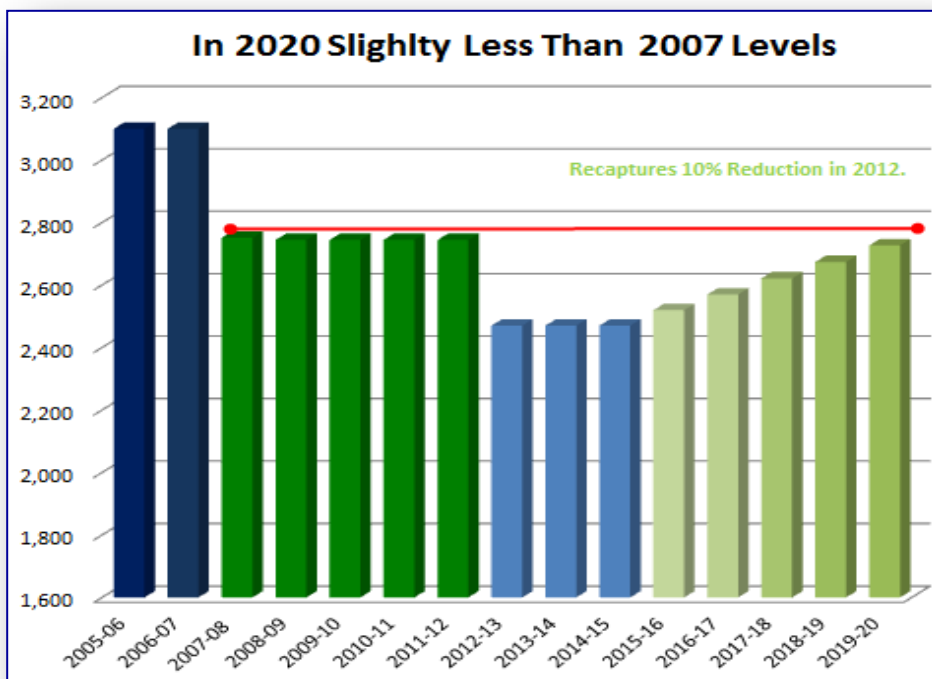
Financial and operational stewardship must be considered from two separate but intertwined perspectives:

- The intelligent management of financial resources necessary to maintain the District's financial health.
- The value created by astute management of the District over a long period of time.

Management of Financial Resources

Last year the Board reviewed forward planning models that match the annual needs of the District with practical increases across the planning horizon. The plan endorsed by the Board, 2% increase commencing in 2015-16 for five years, returning assessments to slightly less than the 2007 level, was designed to credibly maintain the District's financial health and ability to deal with the significant outside influences which the District does not control.

This directional plan was reviewed at the budget meeting and for all residents in the TPOA Newsletter.



Value Created

In the following the Chairman reviews the various aspects of value creation that have taken put in place over the last fourteen years.

This will serve both as a reminder to the *long timers* and fresh information for the newer Board Members, Supervisors Gibson and Vaughn, as to “how the District got here”.

District Value Created _____ 14 Years of Board Stewardship through September 30, 2013

Major high-value area metrics includes, but are not limited to the following...

Board Professionalism
And Effectiveness

Advanced Board Book.....Professionally Informed Board
Power Point Presentations Improved Meeting Communications

Long-Term
Partnerships

Toro Beta Site

Turf maintenance, equipment & irrigation systems & controls
Savings: 14 years of Turf mowing costs... annually \$ 90-100 K
One-time irrigation control system & software \$ 100 K

OneSource landscape maintenance effective during 2002
Created business systems & processes for effective implementation
Preserved \$ 300 K/Yr cost savings by interim negotiation
Cost increase limited to 1.8 % per year over 14-year period

Retirement of Debt

Retired TP infrastructure debt Annual principal & interest \$ 1.3 M
Reduced CDD taxes \$ 650 K per year in aggregate
Transitioned TP to 100% non-ad valorem assessments

Restore TP to Premier
Community

TP was debt-free 30 Yr old community that looked 30 Yrs old.
Retained \$ 650 K of debt service for 5 years
Launched \$ 5.0 M Visioning TP 2017 to restore ‘Premier’ status

Reduced Community
Assessments

Visioning TP 2013 completed Reduced assessments 10 % \$ 265 K/Yr
For three years Total 3-year reductions \$ 800 K

Maintain District
Financial Health

Introduced 1st assessment increase in 13 years
Increased assessments 2.5 % in FY 2015/16 for Bruce B. Downs widening.
Advised TP **probable** annual increase of 2.5 % for 5 years
After five years assessments still below 10 years ago

Financial
Stewardship

Private Sector Financial Reporting Standards \$ 32 M Budget
Major Project financial management & internal controls \$ 9 M Projects
14 years of “No Comment” independent audit s
Cash Management QPD protection Interest income totals over \$ 300 K
Multi-Year Financial Models Longer-term Vision

<u>Environmental Compliance</u>	NPDES (EPA) Plan & Audit SWFWMD partnership	District savings water use approval & monitoring	\$ 30 K every 3 years
<u>Conserve Resources</u>	Resource Conservation Programs		
	Water conservation	Reduced SWFWMD water permitting	by 25 %
	Energy conservation	Reduced KWH use	by 33 %
<u>Eminent Domain</u>	Florida Gas Transmissiontaking of CDD Property		\$ 400 K
	Area I exit to Bruce B Downs...taking of CDD Property		\$ 477 K
<u>Non-Ad-Valorem Assessments</u>	Research: Florida Supreme Court Cases re: Assessment Process		
	Developed and Implemented TP Process...for Assessments	Savings	\$ 30 K
<u>Mitigation BBD Expansion</u>	Numerous Design Changes...Flagship Corner Pond, BBD Fencing Design, Area II Median, etc		
		Cost Avoidance	\$ 300-400 K
<u>Research</u>	Deed: Grace Church specific Land Use Restrictions		
	Avoidance : Cell Tower and Commercial Use of TP Flagship Corner		Priceless
<u>Government Relations</u>	Initiated and Maintained constructive & co-operative relationships ...with all state, county, & city management and operating constituencies Secure cooperation to maximize public services for TP CDD		
<u>Project Management</u>	Board & staff implemented over \$ 9.0 M in community projects Quoted, sourced, budgeted and controlled all projects Internal controls 14-Years of successful audits		
<u>Resident Communication</u>	Initiated and maintain TP CDD website required by State of Florida Posts CDD public records to inform interested residents Provide Board and CDD e-mail & phone contacts to ease communication Fund TPOA newsletter as communication vehicle to inform residents		
<u>Allocation of Resources</u>	Monthly, professional landscape maintenance with formal rating Board, staff and OneSouce/ABM actively participate Priorities established for ABM/One Source service 14 Yr total \$ 11.0 M		

Board Officer Appointments

The Florida statutes provide that after any membership change to the Board, the Board should “reorganize”, that is select its chairman and vice chairman and reconfirm its officers.

Jessica Vaughn has been elected to the Board and will receive the oath of office at the January meeting.

At this time the Board should (1) elect a Chairman and (2) elect a Vice- Chairman, as well as, reconfirm its organization, including both Board Members and Officers.

Note “Officers”, are not members of the Board, they are not elected, they have no voting powers: they are individuals who serve for the Board and at the pleasure of the Board.

The specific reference in the Statutes that allows the appointment of officers follows:

190.006 (6) As soon as practicable after each election or appointment, the board shall organize by electing one of its members as chair and by electing a secretary, who need not be a member of the board, and such other officers as the board may deem necessary.

In Tampa Palms the present officers include:

Bruce St. Denis & John Daugirda	Secretaries/District Manager
John Daugirda & Bruce St Denis	Treasurers
Mary-Margaret Wilson	Assistant Secretary
Carolyn Stewart	Assistant Secretary
Randy Marlowe	Assistant Secretary/ Member Emeritus

Obviously Board Seat 5’s longtime member, Randy Marlowe, will be removed with his passing a few months ago.

Staff has prepared a resolution for Board approval which adds Supervisor Vaughn, restates the Chairman and Vice Chair positions they exist today and re-confirms the existing officers. If the Board wishes to retain the existing Chair and Vice Chair, it should do so by nomination, second and approval.

If the Board wishes to make these changes, it should do so by approving Resolution 2017-1 which is attached.

RESOLUTION 2017-1

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE TAMPA PALMS COMMUNITY DEVELOPMENT DISTRICT ["DISTRICT"] DESIGNATING THE OFFICERS OF THE DISTRICT

WHEREAS, the Board of Supervisors of the Tampa Palms Community Development District at the business meeting held on January 11th, 2017 desires to appoint the below recited persons to the offices specified.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF TAMPA PALMS COMMUNITY DEVELOPMENT DISTRICT:

1. The following persons were appointed to the offices shown, to wit:

- Gene Field (Board Member) _____
- Jim Soley (Board Member) _____
- Patricia Maney (Board Member) _____ Assistant Secretary
- Jessica Vaughn (Board Member) _____ Assistant Secretary
- A Michael Gibson (Board Member) _____ Assistant Secretary
- Bruce St. Denis & John Daugirda _____ Secretaries
- Bruce St Denis & Patricia Comings-Thibault _____ Treasurers
- Carolyn Stewart _____ Assistant Secretary
- Mary-Margaret Wilson _____ Assistant Secretary
- Randy Marlowe _____ Assistant Secretary

2. That this Resolution supersedes all previous resolutions and motions designating, electing or appointing officers adopted by the Board of Supervisors of the Tampa Palms Community Development District and are hereby declared null and void.

ADOPTED THIS 11th DAY OF JANUARY, 2017

Signature _____

Signature _____

Printed Name _____

Printed Name _____

Title:

- Secretary
- Assistant Secretary

Title:

- Chairperson
- Vice Chairperson

RESOLUTION 2017-1

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE TAMPA PALMS COMMUNITY DEVELOPMENT DISTRICT ["DISTRICT"] DESIGNATING THE OFFICERS OF THE DISTRICT

WHEREAS, the Board of Supervisors of the Tampa Palms Community Development District at the business meeting held on January 11th, 2017 desires to appoint the below recited persons to the offices specified.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF TAMPA PALMS COMMUNITY DEVELOPMENT DISTRICT:

1. The following persons were appointed to the offices shown, to wit:

- Gene Field (Board Member) _____
- Jim Soley (Board Member) _____
- Patricia Maney (Board Member) _____ Assistant Secretary
- Jessica Vaughn (Board Member) _____ Assistant Secretary
- A Michael Gibson (Board Member) _____ Assistant Secretary
- Bruce St. Denis & John Daugirda _____ Secretaries
- Bruce St Denis & Patricia Comings-Thibault _____ Treasurers
- Carolyn Stewart _____ Assistant Secretary
- Mary-Margaret Wilson _____ Assistant Secretary
- Randy Marlowe _____ Assistant Secretary

2. That this Resolution supersedes all previous resolutions and motions designating, electing or appointing officers adopted by the Board of Supervisors of the Tampa Palms Community Development District and are hereby declared null and void.

ADOPTED THIS 11th DAY OF JANUARY, 2017

Signature _____

Signature _____

Printed Name _____

Printed Name _____

Title:

- Secretary
- Assistant Secretary

Title:

- Chairperson
- Vice Chairperson

Bruce B Downs

General Update

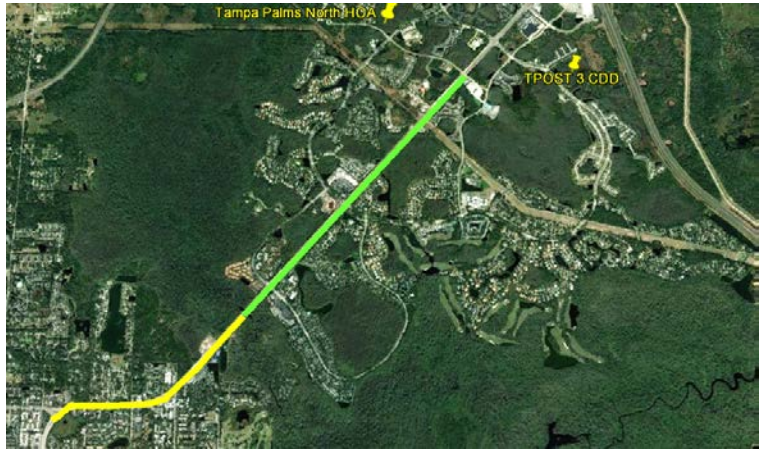
The situation with any highway construction project is fluid, given that the roadways must be kept open and operational even as construction teams battle weather and other conditions such as utility conflicts.

The County, Prince Construction and KCI are steadfast in maintaining the schedules; despite that fact delays such as referenced above can and do occur. The rains and subsequent flooding experienced in portions of 2015 and again in 2016 are a prime examples ... ones that even laymen observed.

The County does not allow incremental “days added” to sneak onto the project. That is how projects become years late - there have been examples, but not here. Requests for extensions are granted as a block for the project and only after scrutiny. The County has, after intense review, has granted a block extension for cause (the first and only) and the grant was for slightly less than 15% of the total project days allotted or twenty-two days total.

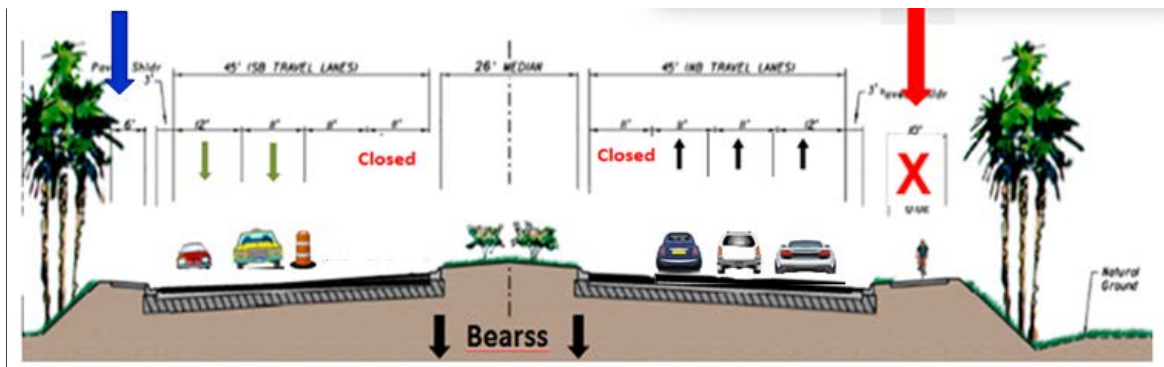
That said...

Staff has been advised that the goal is for three new northbound lanes from Cypress Creek to the north end of the project (Cypress Preserve Dr.) to be opened for traffic by the end of January.... the middle or end of Feb at the latest. (Green area)



This is a 1.9 mile stretch, functionally 2/3 the distance for the entire project.

At least for Tampa Palms, this will substantially improve the traffic situation.



Dates for the opening south of Cypress Creek have not been released. Due to the many driveways, intersections and business, as well as, massive utility conflicts, this portion is slower to see completion.

	Contract Days	Completion Date
Original Contract	815 Days	
Revised Contract	837 Days	
Current Progress Threshold (a/o 1-11-17)	Day 633	
Original Completion Date (Final- Constructon May)		10-Aug-17
Current Completion Date *		10-Sept-17

* If no additional delays granted



Upon opening of the three northbound lanes, work will commence on southbound lanes in the following manner:

- Southbound traffic will remain on the two new lanes where it is today
- Two new southbound lanes will be constructed
- The remaining one northbound lane will be constructed, along with required turn lanes (such as at Tamp palms Blvd where there will be two turn lanes)

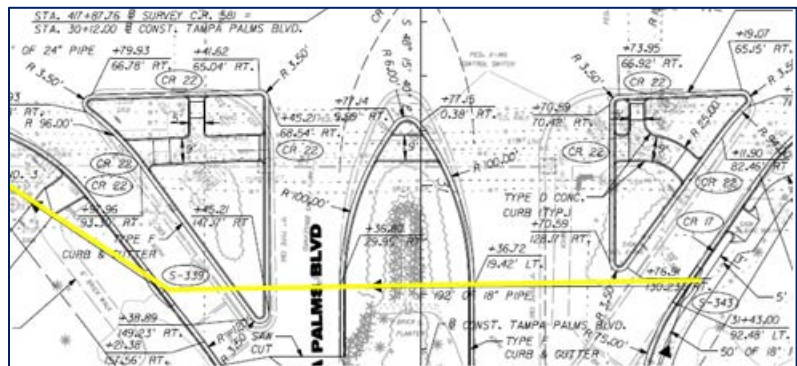
Current Tampa Palms Activity

The right exit turn lane from the east side of BB Downs is under construction. Several conflicts were discovered in the last month.

1. A drainage pipe for stormwater on the construction plan sheets would have taken the pipe immediately under the main entry monument.

Consideration was given to boring under the monument but this was rejected for several reasons:

- The pipe is large, 18 in, and the boring might destabilize the monument.
- Future maintenance and repair work would cause serious problems.



Rerouting the stormwater pipe under the roadway was initially planned but abandoned because of utility conflicts in the underground.

In examining the area to resolve the second issue, KCI located a concrete pipe (RCP) which runs from the north side of TB Blvd, under the road and median to the south side. While this pipe does not appear on the final drain plans turned over to the City when the roads were given to the City, it does appear on some older plans that staff unearthed in the developer’s office.

The engineering team is working to have this pipe examined (excavated at both ends and filmed inside), then desilted and connected to serve the stormwater needs. It will drain immediately into the pond.

As a side benefit, KCI will most likely remove the knee wall on the entrance side (the previously conceptually approved restoration plans have the District paying for this removal in order to have the sides match).

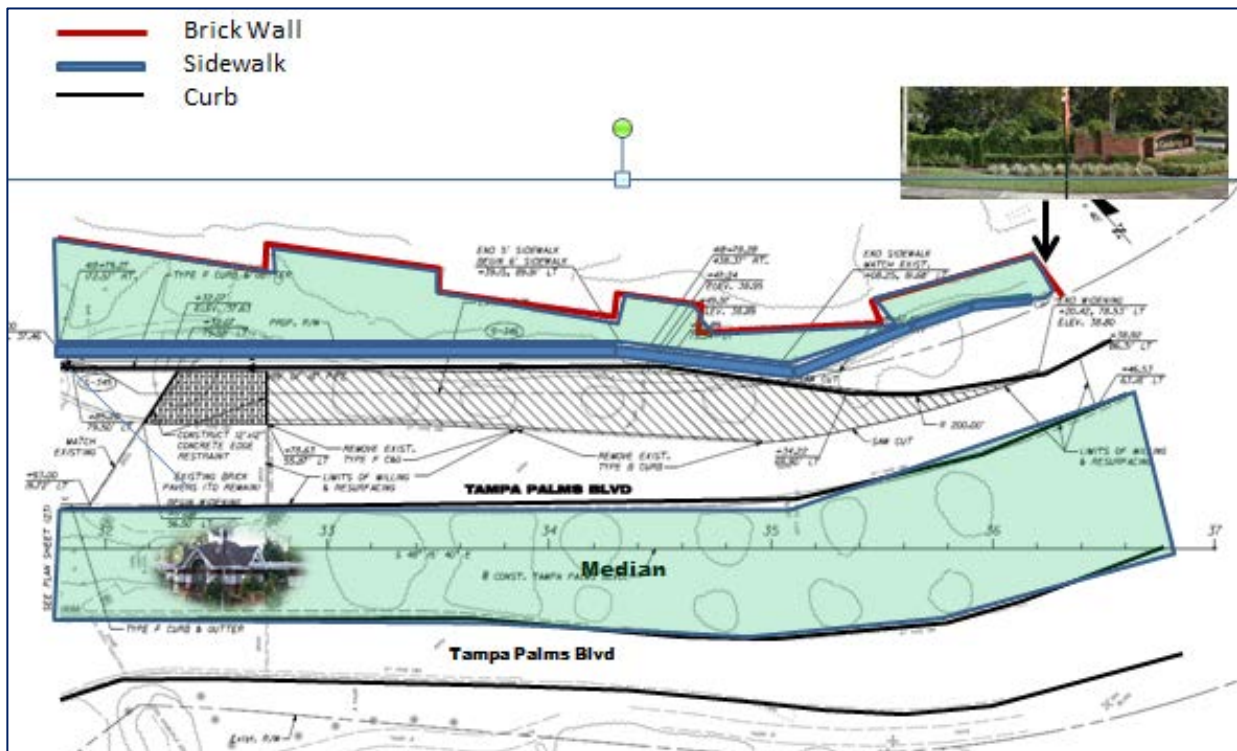
2. A conflict emerged between the planned path and curbing construction and the underground gas lines, requiring that the gas lines be slightly adjusted and moved deeper.

TECO Gas (formerly Peoples' Gas) has an easement a few feet out from the wall on the exit side. This easement, on District property, has been in place since the mid-to-late 1990s and serves the community by bringing natural gas to the owners and eliminating the need for gas tanks.

With the creation of the new northbound exit lane and the “taking” by the County of portions of the District’s property, this area is very “tight”, containing the gas lines, communications cables (Verizon & BrightHouse/Spectrum) and CDD irrigation. (See graphic below.)

This adjustment of gas lines required some realignment of the CDD irrigation in the area. ABM teams worked feverishly to accomplish that, even working Christmas Eve. This had to be done immediately because any intrusion into the line would have left the entire entry without water - including the annuals.

This irrigation realignment serves to highlight the reason that restoration projects cannot be undertaken until the construction is complete.



Recap of Restoration Projects - Preliminarily Approved, Pending Completion

To restore Tampa Palms and maintain its upscale community look along the BB Downs corridor there are a series of pending / funded projects:

- Area 2 Pond
- Area 1 Entrance
- Area 2 Entrance
- Entry Median Lighting
- BB Downs Fencing
- Amberly Entrances

Each of these projects was professionally designed, often in concert with both Hillsborough County and the roadway contractor.

Each of these projects has also been detailed for the community at CDD Meetings, TPOA Annual meetings and TPOA Budget Meetings over the last three years and reviewed in the TPOA Newsletter, which is mailed to each residential owner of record in Tampa Palms.

Each of these projects will be re-presented to the Board for final approval in the coming months.

Area 2 Pond

Located at the signature Tampa Palms corner, this pond is of GRAVE concern to many residents.

Huge Littoral Shelf

- Unlike Other Ponds- lined
- Prominent Location

Improve Look and Operation

Aquatic Plants

- Expensive
- Difficult to Maintain



Preliminary approved plans include

- littoral shelf plants,
- treescapes, where possible,
- a lake fountain to compliment the fountain on the east-side of Bruce B Downs
- landscape lighting

Area 1 Entrance

Viewed from every perspective, the Area 1 - Tampa signature entry- is in shambles.

- The new exit will occupy most of the land on the north side.
- The exit required removal the signature brick knee wall and column.
- The graceful oaks that lined the exit are gone.
- The new sidewalk will be immediately adjacent to the roadway.
- With the numerous utilities that lie underground tree restoration is not an option (see graphic above).



Restoration strategies have focused on hardscape improvements which will add a finishing touch to the entrances. The preliminarily approved designs are depicted below.



Substantial landscape restoration will also be required but cannot be designed until the construction is complete and the final location of gas, power, and communications facilities is known.

Area 2 Entrance

The preliminary approvals for the Area 2 entrance mirror the treatment for Area 1.



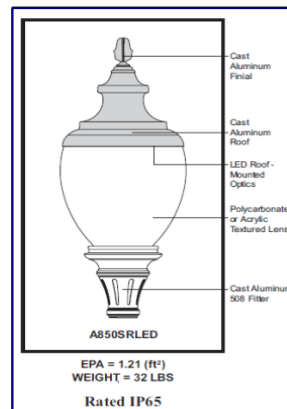
Amberly Entrances

The Amberly entrances will require re-landscaping. No preliminary plans have been approved.

Entrance Median Lighting.

The only street lighting owned by the CDD in Tampa Palms is that on the Area 1 & 2 entrance medians. The lighting does not meet the lumen requirements for the street size and must be modified.

Preliminary approvals are for lights similar to those at Compton Park, reusing the existing poles for cost savings.



BB Downs Fencing & Amberly Entrances

BB Downs fencing will be black when completed. This project has been Board approved and the County included the black fencing in the final bid documents.

Amberly entrances will require re-landscaping. This will be designed after construction is complete.

All of these projects will come before the Board for re-evaluation in the coming months and final decisions will be made based on the construction as-built's.

Community Appearance

The continued unseasonable heat (actually record breaking), combined with the seasonable low rainfall, may be a boon to the tourist trade but it is sure playing havoc with the landscape in a number of ways:

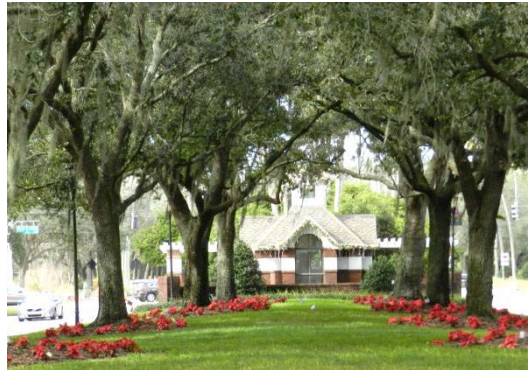
- No *cold weather dieback* to minimize pond vegetation growth. Ponds are universally low, some almost dry. For this reason reliance solely on chemical treatment is not terribly effective without rain to wash down the sprayed vegetation.
- Turf fungus likewise is alive and well and TP is not benefitting from the “normal” winter respite.
- Vine and weed growth is rampant - at a time when it should be virtually dormant.



This “winter” follows two prior winters during which there have been atypical for temperatures from Oct to April and the cumulative effect is beginning to show.

There is some good news. The construction and the heat did not hamper the holiday annuals and poinsettias.

Shown below from the Reserve, red geraniums were used with red salvia (a little tricky but worked so far) and bordered with Dusty Millers for contrast.



Palm Update

The palm or palmetto weevil is still with Tampa Palms, though the rate of infection and palm death appeared to have slowed substantially. Tampa Palms has lost a significant number of trees during the last eighteen months. While the rate of loss has slowed considerably, there continue to be dead and dying trees.

Notably the palm losses due to weevils are down for the first time since mid-2015. There are some locations where the weevil infestation was so severe, such as in the Huntington / Wellington / Kensington / Reserve areas, that there was little hope that the older trees could be saved. Those tree are now succumbing.



As a reminder, the palmetto weevil is native to Florida and until recently was the only species of palm weevil in the continental United States. Once, the palmetto weevil was considered a minor pest, attacking only severely wounded and dying trees.

However, it is now known to be a pest of stressed older and transplanted palms, as well as, apparently healthy Canary Island date, Bismarck, Washingtonian and Sabal palms in the landscape.

The symptoms of a palmetto infestation vary, but commonly involve a general, irreversible decline beginning with the younger leaves.



In palm species with upright leaves, such as the Canary Island date palm, the older leaves begin to droop during the early stages of infestation but quickly collapse thereafter.

As the infestation progresses, the larval feeding damage and associated rot is so severe that the integrity of the crown is compromised and the top of the palm falls over. This condition is termed "popped neck."



Volatile odors emanating from stressed, (prior poor pruning or lightning), old or dying palms are attractive to palmetto weevil adults. This is the reason so many of the older palms are infected.

Once the palmetto weevil damage becomes visible, there is no hope of recovery even with a subsequent treatment of a strong insecticide drenched into the crown. The damage has been done and it is irreversible.

The Plan

Curative and preventative treatments with systemic insecticides have been shown to save 80% of non-infected trees and while they will not result in saving an infected tree, treatments will stop the weevil from flying off to a new target.

Ms. Maney, together with Joe Laird and the ABM arborist devised a plan to decrease the loss of uninfected palms using systemic insecticides. The most effective method of administration utilizes a port placed in the tree and insecticide “injected” directly into the trunk via that port.

Systemic insecticides trunk injected have numerous advantages over other forms of treatment (such as crown drenches or soil drenches) especially for Tampa Palms:

- **Can be used when spraying is not desirable, e.g. along paths or near homes.**
- Very low use rates / low environmental risk
- Very low vertebrate exposure / toxicity
- Fast uptake by the tree / better distribution

	Palms	Other
Trees Removed FY 2014-15	46	9
Trees Removed FY 2015-16	115	31
Total Removals	161	40

Per City of Tampa code, every tree removed must be replaced. Even if this were not the case, the owners of Tampa Palms would expect replacement. Replacements are expensive and for that reason the first line of defense is loss prevention through treatment.

Cost Comparison		
	Dead Palm	Treated Palm
Permit*	\$120.00	
Removal	\$190.00	
Replacement- Washingtonian	\$250.00	
Replacement - Tarrow	\$500.00	
Treatment (2 Years)		\$130.00

* The permit may be shared between many palms at the same location
Realistically the permit cost could be shared between 25 or more palms

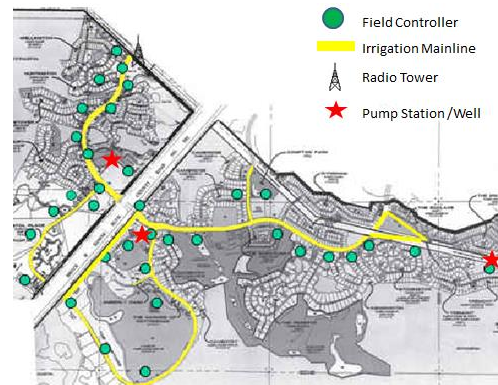
Irrigation Report

Tampa Palms has a somewhat unique landscape:

- 75% is on the rights-of-way (ROW) or adjacent to ROWs, including entrances, along the boulevards
- 15% is in the parks
- 10 % in cul de sac's

The ROW typically extends from the inside of the sidewalk across the street to the inside of the sidewalk on the inside of the sidewalk on the opposite side.

Tampa Palms irrigation lies along the boulevard ROWs and is operated under the control of radio based “controllers”. The water is obtained from two major wells and used under a SWFWMD permit that requires substantial monitoring. (A third smaller well is located in the Yardley area: it is not radio controlled and handles only a small area.)



Other agencies and private companies use the ROWs and based on the criticality of their services are considered “superior” to CDD irrigation. These are services such as:

- Power
- Water
- Natural gas
- Telephone
- Communications cable

The laws of Florida require notification to any agency if digging is to occur and that usually happens. (Tampa Palms is a paid member of Sunshine One Call).

Substantial damage to the irrigation system takes place when utility trucks park on the ROW. This was the case along Amberly Area 1 when TECO was replacing major portions of the underground power and caused massive irrigation mainline damage from Amberly Park to TP Blvd.

There are literally no options available to the CDD:

- Mainline relocation would cost millions, if land to which they could be relocated existed.
- For more than 60% of the mainline and valve locations there is no place available to relocate.
- For the limited areas where the CDD owns adjacent land, there are other conflicts- principally trees.

Despite the frustrations (and costs to repair the irrigation damage) Tampa Palms has an effective system that costs the owners a fraction of what water to irrigate would cost were it not centrally provided under a SWFWMD agreement.

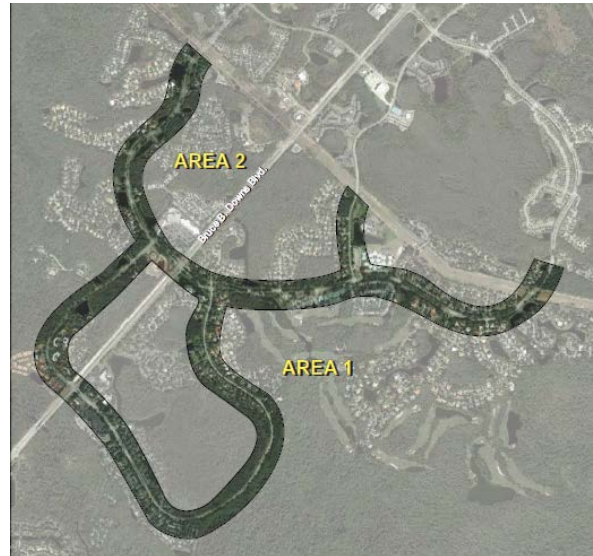
Coming Attractions

Tampa Palms enjoys more than thirteen miles of landscape along its boulevards (both sides). The landscape, punctuated by ponds, illuminated by fountains and decorated by attractive signage is primary way Tampa Palms residents and visitors alike experience the ambiance of Tampa Palms.

This is ROW landscape; ROW landscape is subjected to stresses never experienced by residential or even typical commercial landscape:

- Massive amounts of vehicle fumes and the winds generated by these vehicles.
- Cold or heat channeled down the boulevards by winds.
- Trucks and other vehicles parking on the landscape, rutting or burning turf.
- Garbage and worse thrown on the landscape by the careless and ill-mannered.

Supervisor Maney, drawing upon her professional experiences as a greenhouse operation owner and her contacts from serving as the president of the Hills Growers Association, is working with Joe Laird to assess each portion of the ROW landscape and segment by segment, report on that assessment to the Board.



Many portions of the ROW landscape have not been addressed (for upgrades and freshening) in ten to eleven years.

- Some improvements have been made
- Some areas need no or very limited attention
- Some need “the full treatment”

A location by location evaluation will be presented in Feb and March.

Park Update Information

Security Guard Service

Securitas is officially on-station as of December. Both Amberly and Hampton parks have been outfitted with sensors that monitor the locations and patrols of the guards. This information is readily available to the CDD.

There was a single incident in later December where an individual erupted into threatening religious rhetoric when told that Hampton Park was private to owners and residents of Tampa Palms. There was no harm done and the park attendant and guard performed properly.

This type of unruly, and frankly childish behavior, has been seen playing out across the country in malls, fast food establishments and air planes.

As a note: following this update is a copy of the information form relative to local public parks that is made available to anyone who is seeking a park but not a Tampa Palms resident. In the front compartment is a card that guards and attendants have which lists typical questions and challenges that might come from visitors along with some suggested answers.

Amberly Building Restorations

As detailed in previous reports, the structure for the pavilion at Amberly was solid but the siding has begun to deteriorate. This was determined by inspection prior to having the building pressure washed and painted.



There was no point in painting rotting siding.

The siding had been “patched” and painted in 2009 when the restrooms were brought to ADA standard and the building re-roofed.

To reduce cost and restore the building a simple maintenance replacement was made using concrete-based hardiboard, a more hard-wearing and weather resistant product. The pavilion gets dirty (rain, trees, wind) easily and is subject to frequent pressure washings. The hardiboard is a better option for durability.



The signs on the restroom doors - which had likewise begun to deteriorate - were replaced, this time with more ADA-friendly variety, one that includes braille gender indicators.

In an enhancement suggested by the handyman doing this work, a panel with hinges was mounted over the controls to the drinking fountain, lake fountain and power and water cutoffs, all of which are mounted on the south side of the building. (A hole displays the meter.)

For some time the park has been subjected to various levels of mischief when the water to the drinking fountain or the timer to the lake fountain were turned off. This will “hide” the controls, making them less available (and obvious) for damage.



Hampton Park Safety Surface

As was discussed in November, the safety surface has served its time. In 2017 it will be nine years old.

The attenuation provided by the actual surface continued to meet and exceed expectations but the tiles were separating in some areas. The picture to the right which was taken in late Oct shows the concern.



Tampa Palms is a major client for Softiles in Central Florida. Staff worked with Softiles regarding options. There was some remaining and declining warranty on the product, although minimal.

Given the age of the product simple repair did not seem to make sense. Softiles agreed to provide

- 100% replacement of the entire playground with a deep discount (55%)
- Tampa Palms would pay for the installation and shipping
- The replacement warranty would cover both the tiles and the installation

The tile cost would be \$45K. Staff reviewed the options with Supervisor Soley and he concurred that this was the best plan.

... But there was a catch, isn't there always....

Tile replacement will require that

1. The tile be removed... 3-4 days
2. That the sub-base be pressure washed and maybe sealed (depending on condition)
3. That the base be completely dry
4. That the new tile be installed ... 3-4 days
5. That the tiles "set" for 1-2 days.

To undertake that level of activity - involving contractor co-ordination and winter/holiday shipping - would necessarily take the Hampton playground out of service during the Thanksgiving and Christmas holidays.

Still the dividing surface seams could cause a twisted ankle (the fall protection was not affected).

The CDD's commitment to the residents is a dual one based on safety and amenity availability- to the degree possible.

Staff work with Softiles and they agreed to ship to Tampa Palms - at no cost- tiles and that adhesive that could be cut and placed in the separations. In this way the surface was made safer and the park remained available for play. (Spanky with ABM did the cutting and placement.) Not pretty but secure.



If the Board concurs, it should approve replacement of the safety surface at a cost of \$40,000.00. (Removal will be handled in the normal facilities budget on a time/\$ basis.)

Drone Use in the Parks

Jo Ann Conrad posed the question “how should the use of drones be handled in the parks?”.

Staff answered with an opinion regarding Hampton and Amberly Parks and the fact that the CDD Board has not yet had the opportunity to discuss this matter but noted that the CDD Board’s adopted *direction statement* sets out the framework for decisions such as this one to allow or disallow drones in CDD parks.

The CDD will *provide timely and effective leadership to protect and preserve the safety and quality of life in Tampa Palms.**

**The CDD’s adopted governance documents can be found online at <http://tpoa.net/More.html>*

The CDD is committed by this adopted governance to preserve and protect the safety of the children and adults using Hampton and Amberly parks (for picnics, tennis, playgrounds, racquet ball and basketball).

In the interim it is apparent that drones operated from within the CDD parks **do not meet the burden of providing a high quality of life and safe recreation experience.**

The CDD relies on information provided by professionals to form the basis of decisions such as these. Staff has separated that information into several categories for consideration:

- A. Where to operate drone
- B. Laws (Fla and FAA) regarding drones
- C. Liability considerations

A. Where to operate drones

1. Safe Unmanned Aircraft System (UAS) operation (drone or remote controlled air craft) relies on several things according to the FAA and UAS Association of Florida:

- Dependable and trained pilots
- CONTINUOUS LINE OF SIGHT
- Flight space clear of obstructions
 - a. Trees
 - b. Power lines
 - c. Radio towers (Hampton Park)
 - d. PEOPLE

There is no part of these requirements that come close to being met at Hampton and Amberly parks.

- It is unwieldy and the parks are not staffed to examine the flight control credentials of “pilots”, some of whom may be small children
- The trees are a continual obstruction to line of sight continuity almost guaranteeing occasional loss of control
- There are numerous flight obstructions, ranging from buildings to playground apparatus to tennis courts but the MOST important is the presence of people using these amenities
- The Hampton irrigation radio tower might be at risk, placing at risk
- The powerlines constitute a danger and if damaged by actions allowed by the CDD, might constitute a liability.

B. Existing laws and FAA guidance

The FAA clarified and reissued their regulations for UAS in June of 2016. The restrictions which comprise the FAA’s “safety guidelines” are as follows:

- Unmanned aircraft must weigh less than 55 lbs. (25 kg).
- **Visual line-of-sight (VLOS) only**; the unmanned aircraft must remain within VLOS of the remote pilot in command and the person manipulating the flight controls of the small UAS.
- At all times the small unmanned aircraft must remain close enough to the remote pilot in command for the person to be capable of seeing the aircraft with vision unaided by any device other than corrective lenses.
- **Small unmanned aircraft may not operate over any persons not directly participating in the operation**, not under a covered structure, and not inside a covered stationary vehicle.
- **Daylight-only operations**, or civil twilight (30 minutes before official sunrise to 30 minutes after official sunset, local time) with appropriate anti-collision lighting.
- **Maximum altitude of 400 feet above ground level (AGL)**

Clearly a tree-lined park (visual obstruction) that has no restrictions keeping people other than the drone flyer out of the park (*drone may not operate over people*) is not a proper venue.

Florida law (FS 934.50), enacted in 2013, makes it illegal for drones equipped with recording or photographic equipment to take pictures of private property without the written permission of the owner. The aggrieved party can seek compensatory and punitive damages.

C. Liability considerations

The CDD enjoys certain limitations liability BUT the most pressing concern is not about financial loss, it is about safety of the owners and visitors.

- There are many levels of safety concerns. The most pressing and most obvious is concern about any situation where a park visitor were injured by a drone in a *loss of control incident*.
- Other injury scenarios include a *loss of control incident* that takes a drone into traffic on a public road or far worse...into a home.

D What are others doing?

Unfortunately most organizations are ill-prepared at this time to address the risks associated with drone use in locations where that use might compromise public safety.

- The FAA has established rules (see above) and issued an app for Apple and Android devices (B4UFLY) that details the airspaces where drones may not be used because they would compromise aircraft safety.
- City of Tampa Parks has banned the use of drones in certain parks near Tampa International Airport and MacDill AFB.
The City has not yet defined a policy for those parks where amenities would make it impossible to fly drones in the park without flying over people using the park.
- TECO is racing to delineate a policy that covers their transmission corridors - such as in Tampa Palms - but it should be noted that their much larger concern is the impact of drone use in areas with above ground utilities.

Where Can Drones Be Flown?

This is a difficult question to answer.

Without a question the tree-filled nature of Tampa Palms and most of New Tampa provides few options that would be safe and not violate FAA regulations.

There may be one option nearby.

There are substantial open areas (fields) behind the New Tampa Recreation center, just off of Commerce Park in TP North.

During times when the fields are not actively used for games these fields are a possibility.

- There is parking
- There are no adjacent homes
- The fields are free of trees

Staff is confirming this option with the City before recommending it to drone owners.



Multi-Modal Paths In Tampa Palms

The condition of the “multi-modal path”, aka the jogging path, in some areas of Tampa Palms was brought to the attention of the City of Tampa administration, Brad Baird and his team, in a meeting with Supervisor Soley and staff.

The discussion wrapped around ways to improve the path by creating a more permanent solution, with the CDD participating as a partner with the City in providing at least:

- Staff and arborists to assist in tree management.
- Funding a consultant (Hardeman-Kempton) to assist by assessing the many and differing portions of the path and offering what will almost certainly be a mixture of location-based solutions.

The City confirmed that they will have budget in FY 2016-17 to commence the restoration of the paths and were very receptive to a partnership with Tampa Palms

The assessment phase of the project is complete and the full report is attached.

Site Assessment Phase

Jason and his team were very thorough and considered every possibility to make this important amenity for Tampa Palms safe. The single largest impediment to this safety was the presence and damage from large trees and their roots. Options considered

- Root pruning - where useful
- Path relocation - where possible
- Simple repaving in areas where age and deterioration were the primary sources of damage.
- Raised boardwalks to retain the trees where path relocation is not an option.
- Tree removal, as a last resort, for the severe and tight areas.

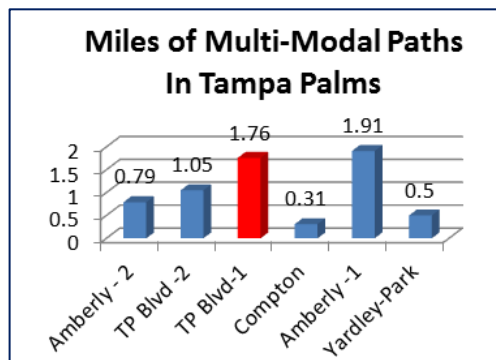
Jason treated removals very delicately, fully aware that this is an incredibly sensitive matter. There are at least 39 trees that may be candidates for removal.

- Fortunately the most dangerous areas are where there are medians with trees, possibly mitigating the loss.
- **The decision to remove trees or not will be the City’s, not the CDD’s**

The option for a raised “boardwalk” was considered.

There are several issues with this solution that may take it out of consideration:

1. The height required of the boardwalk to clear the roots would almost certainly require railings with the boardwalk. This would add to the already substantial cost.



2. Possible materials (concrete for longevity - Perma Track already used by the City elsewhere - and pressure treated wood) **may become slippery and dangerous in a heavy tree-covered environment such as Tampa Palms.**

The one example that staff could find in Tampa where concrete boardwalk is used to protect a tree is very well drained (picture to the right) and had minimal to no algae on the surface.



The pressure treated wood is the most slippery and has the shortest usable life span (est 10 years).

Both products are typically used in spaces where heavy tree cover is not a factor.

3. Raised boardwalks are also pricey.

The estimates range from \$40 SF to \$60 a sf. The path is 8 foot wide. To put that into perspective

- At \$50 a SF the cost would be \$400 a linear foot.
- Even for just the most severe locations, the cost is extreme.

	Length/ LF	\$50/SF
Sanctuary	660	\$264,000
Reserve	916	\$366,400
Kensington	428	\$171,200

Staff and Supervisor Soley plan to re-engage the City in the coming weeks and report on the results at the Feb meeting.

PROJECT SITE



Tampa Palms Multi-Modal Path Evaluation (Areas 1 and 2)



TABLE OF CONTENTS

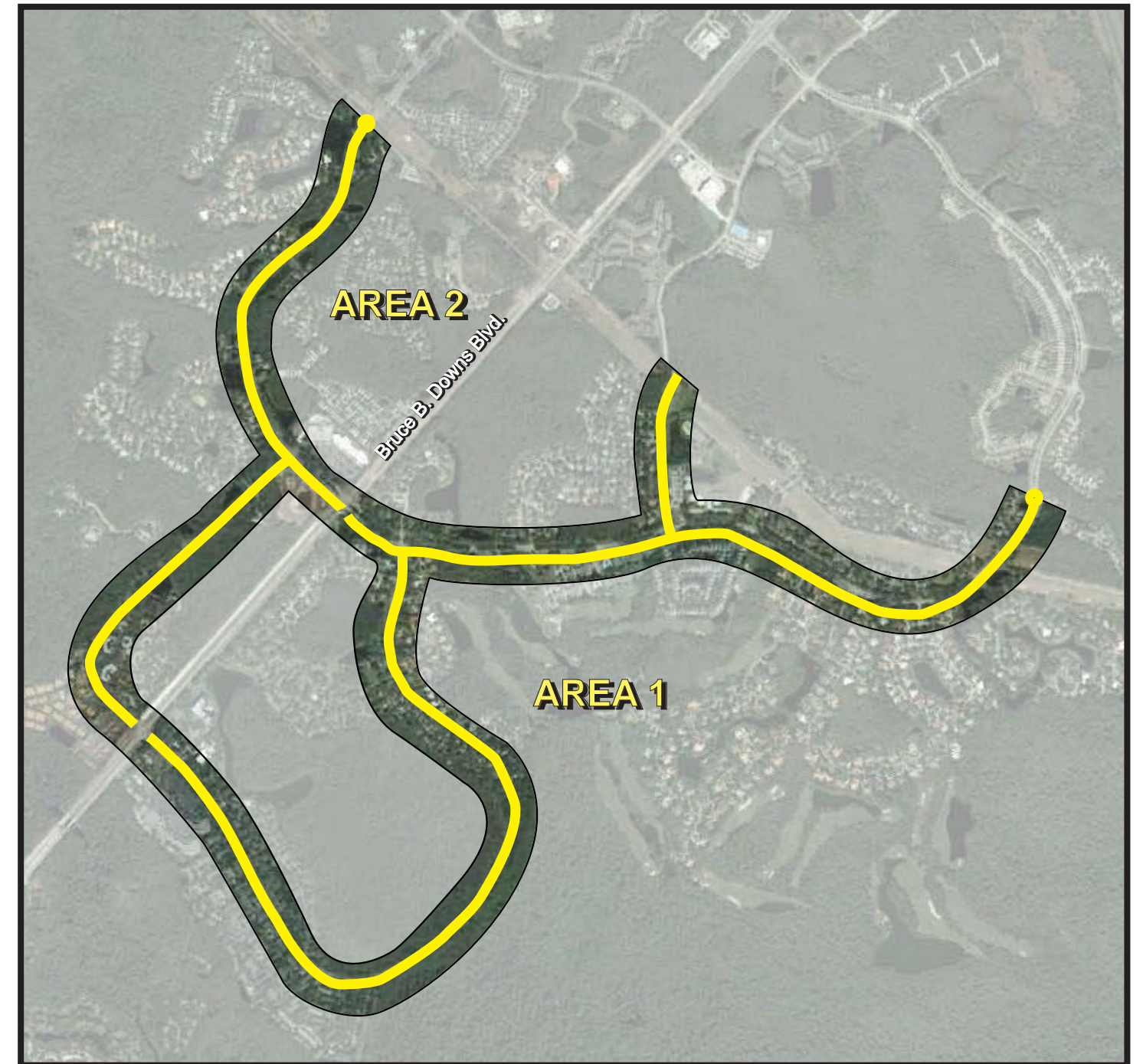
<u>PAGE NAME</u>	<u>PAGE #</u>
Overview	1
Extent of Fitness Path	2
Evaluation Criteria	3-4
Sheet Index	5
Plan Sheets	6-34
Photo Sheets	35-37
Path Remediation Options	38

Tampa Palms Fitness Path (Areas 1 and 2)

OVERVIEW

The objective of this evaluation is to assess and evaluate the current condition of the entire length of existing fitness path that occurs within Areas 1 and 2 of Tampa Palms. There are areas where the path has failed or is showing signs of decline. The primary reason for this failure is the continued growth of trees with their root systems. This information will be utilized by the Tampa Palms Community Development District (TPCDD) and the City of Tampa to determine the best course of action to help balance future remediation of the walkway with preservation of trees throughout the community.

The existing path is constructed of asphalt and is approximately 8' in width. There is a total length of just under six (6) miles (5.82 miles tallied from Google Earth) occurring within the limits of Areas 1 and 2 through Tampa Palms. The path runs along one side of the roadway and is utilized by pedestrians, joggers, bikers, skateboarders, pets, and strollers. We assessed the pathway sections running along Tampa Palms Blvd., Compton Drive and Amberly Drive.



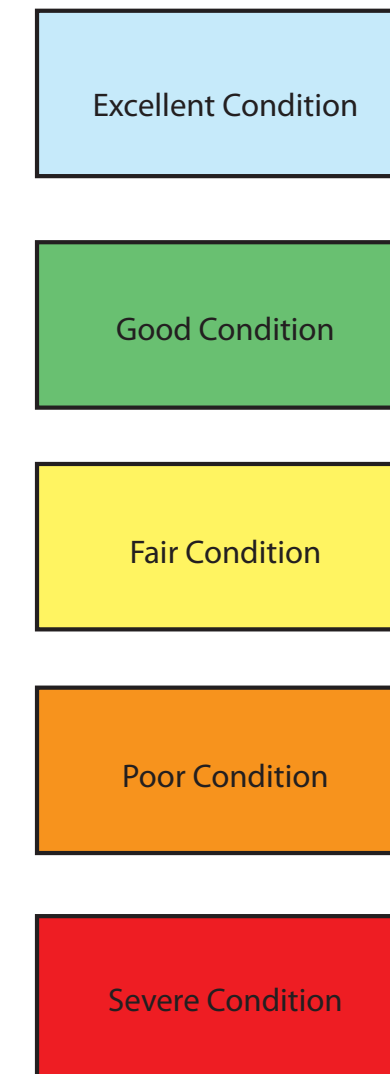
Tampa Palms Fitness Path (Areas 1 and 2)

EVALUATION CRITERIA

The review is a very direct approach though subjective in how the current condition was rated. A simple rating system was utilized and applied to each section of the road based on the reviewer's perception of the condition. Observations are included as noted in the field. The path was walked in its entirety and the results of these observations are outlined within this report.

The report utilizes current aerial views obtained from Google Earth. This was overlaid with some existing digital plan information of the Tampa Palms development provided by TPCDD to help create the base information for documentation. This information is to a set scale but there is still a slight margin of error in translating extent of issues between the field review and aerial location. In essence the field work is not documented by a professional surveyor but approximated as best as possible. The walkway alignment itself is generally approximated and may vary slightly from actual field location. Conditions of the path vary throughout but the main problem impacting the walk is trees. Tree roots are causing cracking, upheaval, and increased wear. In some cases drainage and slope are causing problems as well. Areas were rated in the field with a category based on the current safety and overall state of the asphalt.

The overall categories are as follows:



Tampa Palms Fitness Path (Areas 1 and 2)

EXCELLENT CONDITION

This rating applies to asphalt surfacing that is still very dark in color and smooth with no surface cracking or deterioration. This condition is not prevalent throughout and basically pertains to recent asphalt patchwork that has been implemented (likely within the past 2 years).



GOOD CONDITION

Asphalt surfacing has aged and is lighter in color but is still a relatively smooth surface top with little surface wear. There may be some limited cracking and wear due to age or use but nothing raising the surface that would cause an impediment to a user.



FAIR CONDITION

Asphalt surfacing displays more cracking on the surface compared to the Good Condition rating. Some areas may have a slight bumpiness from wear or beginning degradation (from roots or age) but nothing that is a significant or an immediate concern to a user in terms of travel. This condition may be due to age of the asphalt with normal wear and tear or a cause of root impacts that will continue to affect the rating.



POOR CONDITION

Asphalt has deteriorated to a point that there is significant cracking, pitting and/ or breaking of the surface. Some of these areas are rough to travel over and in some cases could potentially cause a trip hazard if left unaddressed within the near future. These areas will continue to degrade if not addressed and could be a liability. They should be considered for replacement in the very near future.

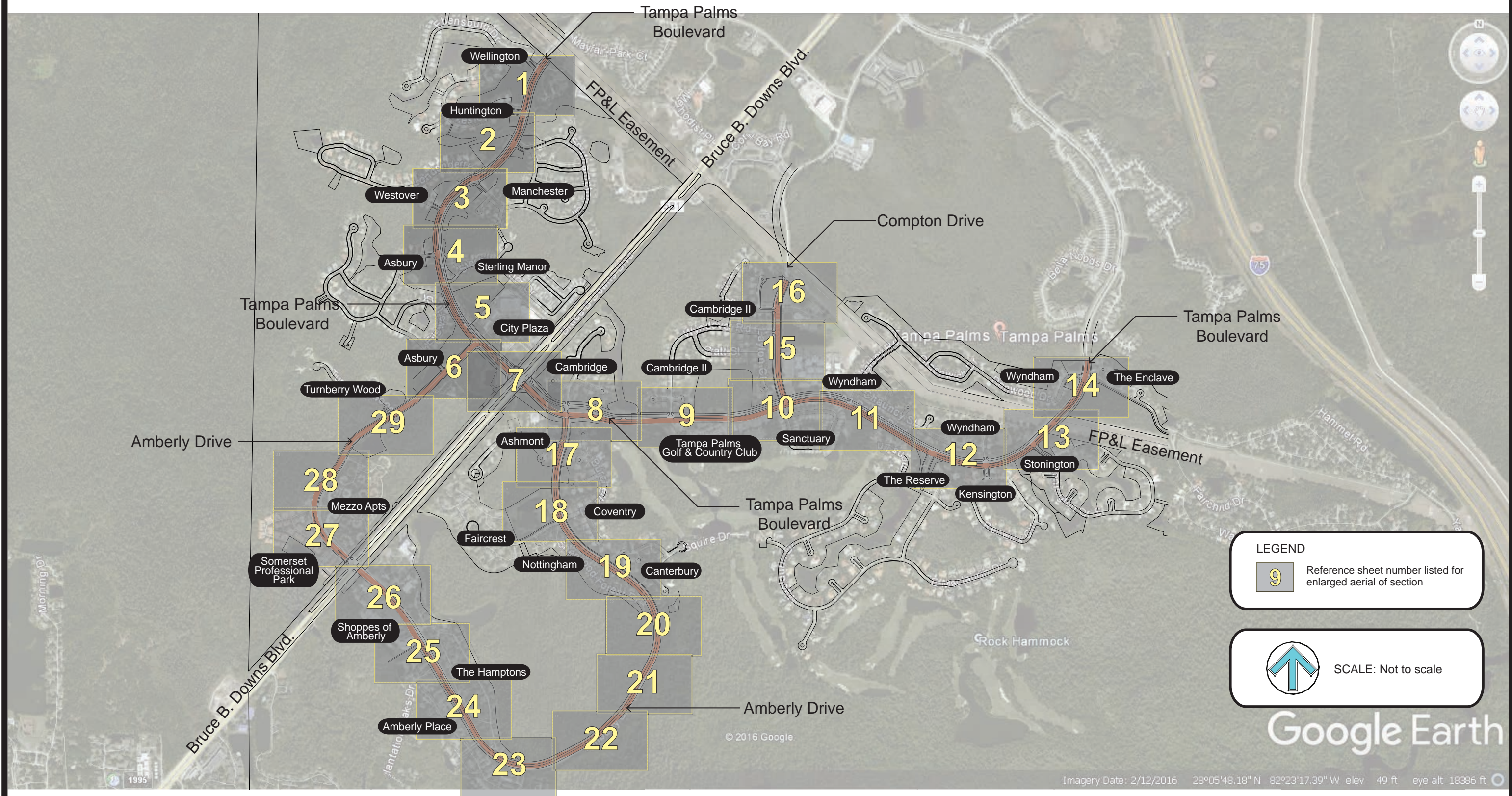


SEVERE CONDITION

These areas require immediate remediation and are a current liability. There is extreme cracking, upheaval, and/or separation between cracks that will likely cause a trip hazard. The surface is rough in some or part of all sections and should be replaced now.



Tampa Palms Fitness Path (Areas 1 and 2)



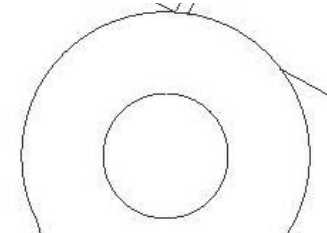
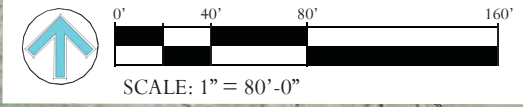
LEGEND

9 Reference sheet number listed for enlarged aerial of section

 **SCALE: Not to scale**

Google Earth

Tampa Palms Fitness Path (Areas 1 and 2)



GENERAL NOTE:
This section of path was rated as "Fair Condition" due to the roughness of the surface which is likely due to an older age and wear. Overall the path is in decent condition with minimal cracking, however, the rough surface would be more noticeable to a skater or biker.

Wellington

Minor wear

Minor pothole






The grade could be raised in future for any rework needed if tree roots start to impact

TAMPA PALMS BLVD

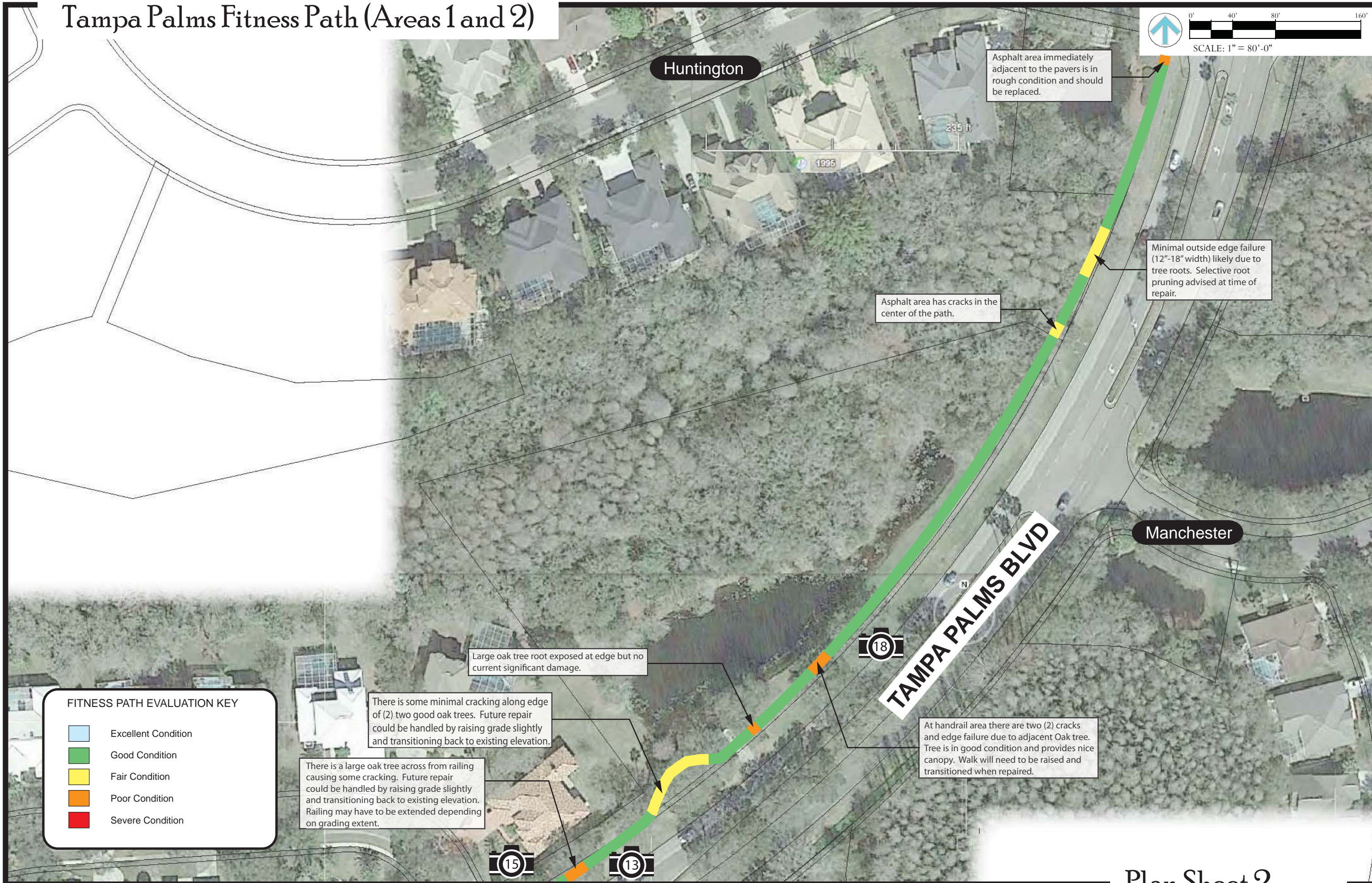
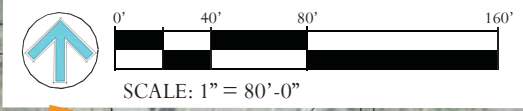
FP&L Easement

Huntington

FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



Huntington

Manchester

TAMPA PALMS BLVD

Asphalt area immediately adjacent to the pavers is in rough condition and should be replaced.

Minimal outside edge failure (12"-18" width) likely due to tree roots. Selective root pruning advised at time of repair.

Asphalt area has cracks in the center of the path.

Large oak tree root exposed at edge but no current significant damage.

There is some minimal cracking along edge of (2) two good oak trees. Future repair could be handled by raising grade slightly and transitioning back to existing elevation.

There is a large oak tree across from railing causing some cracking. Future repair could be handled by raising grade slightly and transitioning back to existing elevation. Railing may have to be extended depending on grading extent.

At handrail area there are two (2) cracks and edge failure due to adjacent Oak tree. Tree is in good condition and provides nice canopy. Walk will need to be raised and transitioned when repaired.

FITNESS PATH EVALUATION KEY

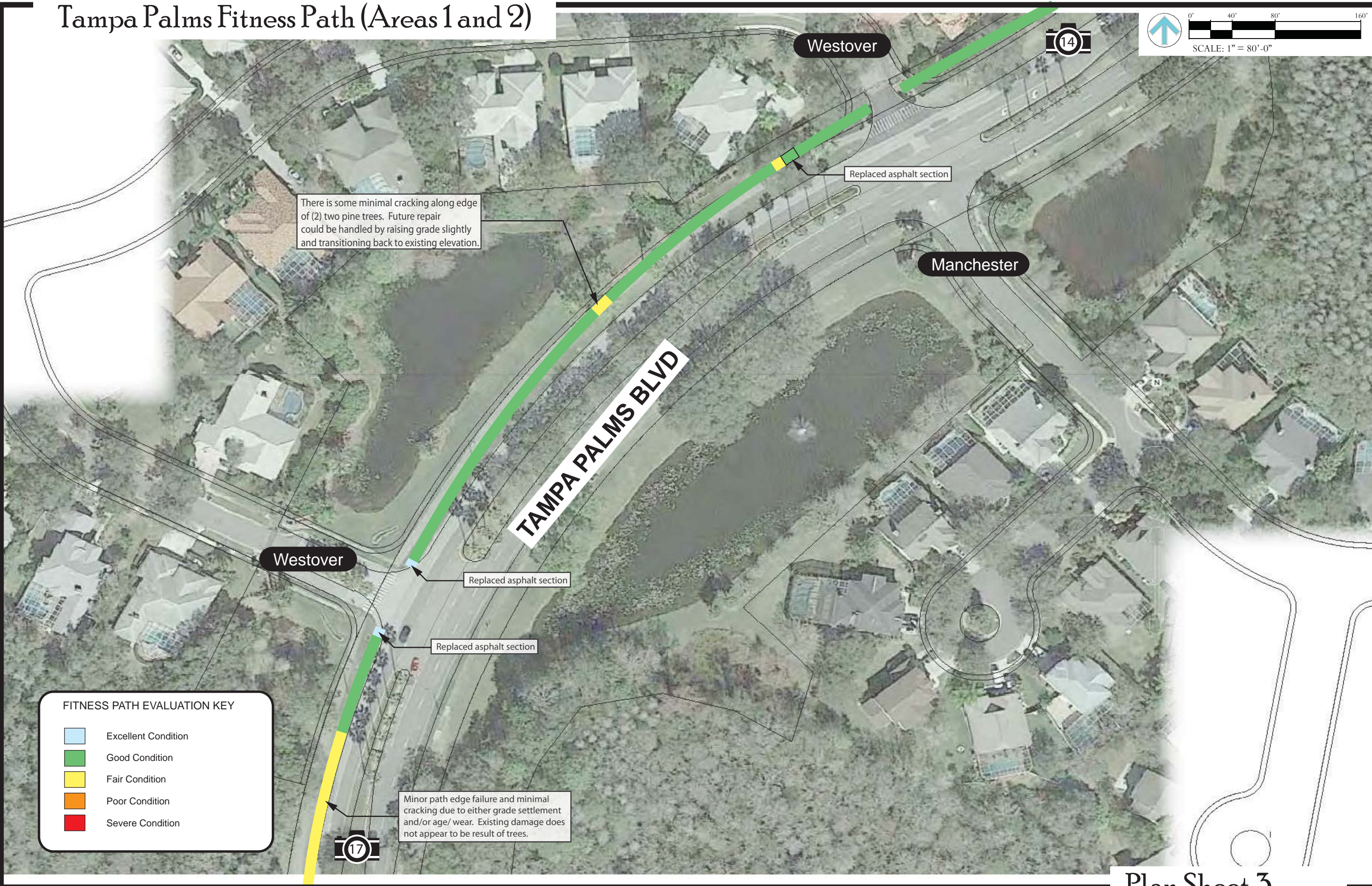
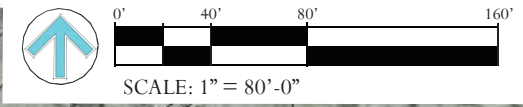
■	Excellent Condition
■	Good Condition
■	Fair Condition
■	Poor Condition
■	Severe Condition

15

13

18

Tampa Palms Fitness Path (Areas 1 and 2)



There is some minimal cracking along edge of (2) two pine trees. Future repair could be handled by raising grade slightly and transitioning back to existing elevation.

Replaced asphalt section

Replaced asphalt section

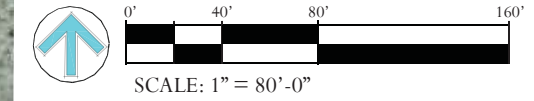
Replaced asphalt section

Minor path edge failure and minimal cracking due to either grade settlement and/or age/ wear. Existing damage does not appear to be result of trees.

FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



3

TAMPA PALMS BLVD

There is some edge failure along this length of pathway due to what appears to be long term settlement.






There is some minimal cracking along this section due to adjacent trees. Root pruning is advised to help minimize future damage.

There is cracking along this section due to adjacent trees. Root pruning is advised at time of repair to help minimize future damage.

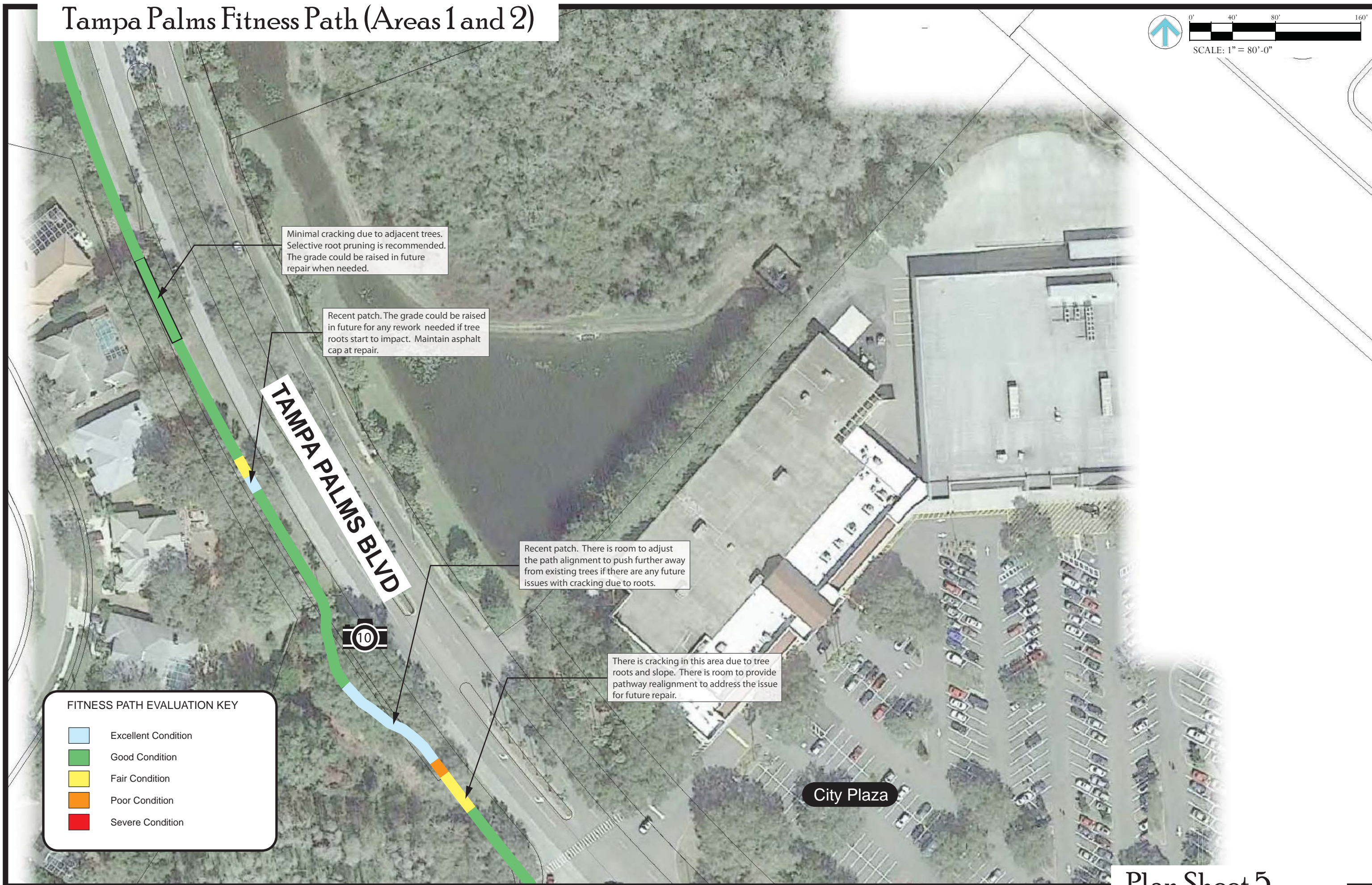
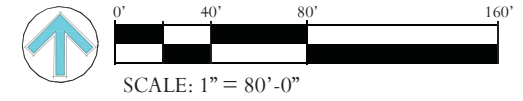
Asbury

Sterling Manor

FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)








Minimal cracking due to adjacent trees. Selective root pruning is recommended. The grade could be raised in future repair when needed.

Recent patch. The grade could be raised in future for any rework needed if tree roots start to impact. Maintain asphalt cap at repair.

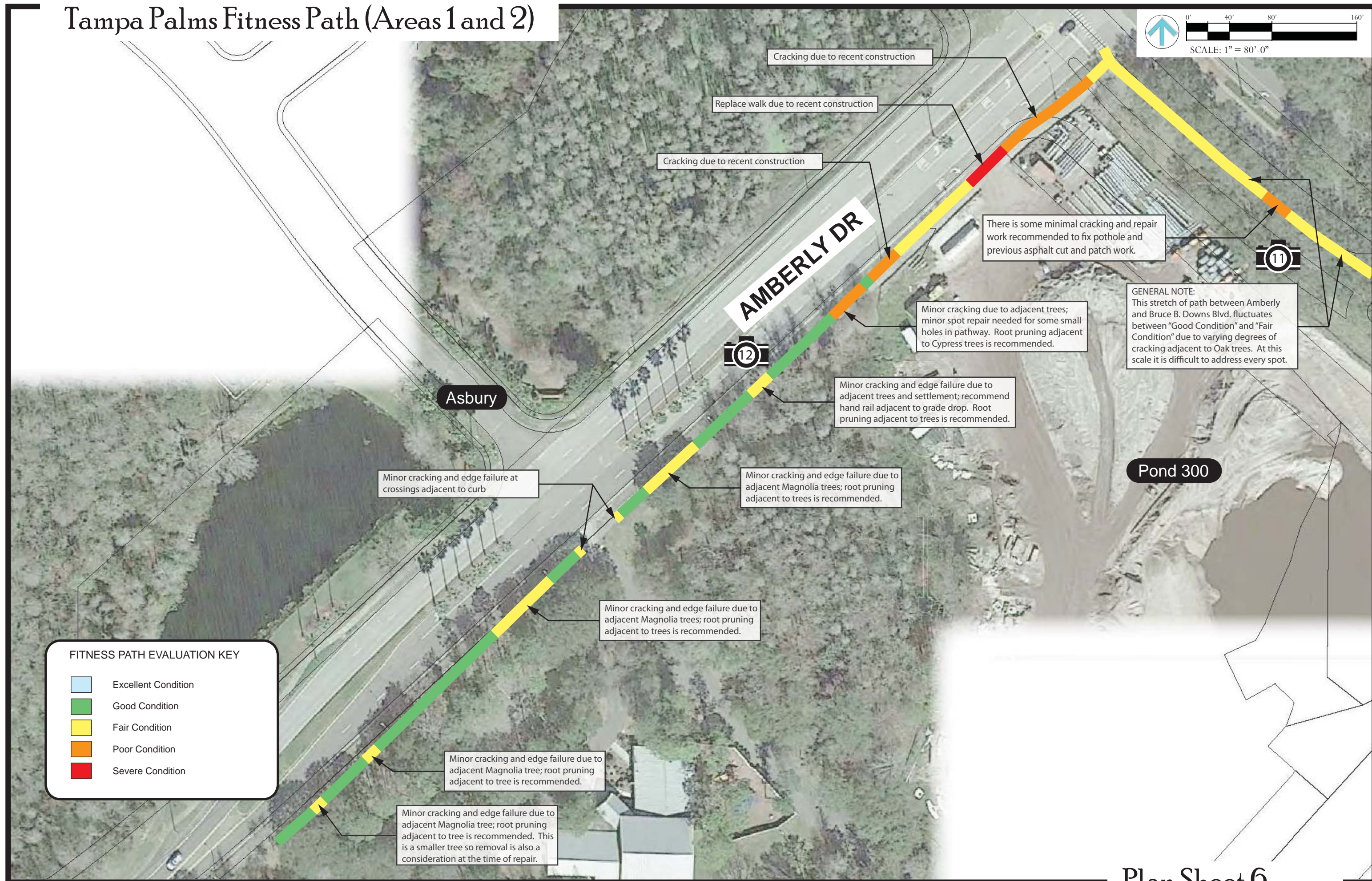
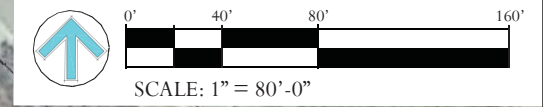
Recent patch. There is room to adjust the path alignment to push further away from existing trees if there are any future issues with cracking due to roots.

There is cracking in this area due to tree roots and slope. There is room to provide pathway realignment to address the issue for future repair.

FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



AMBERLY DR

Asbury

Pond 300

12

11

FITNESS PATH EVALUATION KEY

- Excellent Condition
- Good Condition
- Fair Condition
- Poor Condition
- Severe Condition

Cracking due to recent construction

Replace walk due to recent construction

Cracking due to recent construction

There is some minimal cracking and repair work recommended to fix pothole and previous asphalt cut and patch work.

Minor cracking due to adjacent trees; minor spot repair needed for some small holes in pathway. Root pruning adjacent to Cypress trees is recommended.

GENERAL NOTE:
This stretch of path between Amberly and Bruce B. Downs Blvd. fluctuates between "Good Condition" and "Fair Condition" due to varying degrees of cracking adjacent to Oak trees. At this scale it is difficult to address every spot.

Minor cracking and edge failure due to adjacent trees and settlement; recommend hand rail adjacent to grade drop. Root pruning adjacent to trees is recommended.

Minor cracking and edge failure at crossings adjacent to curb

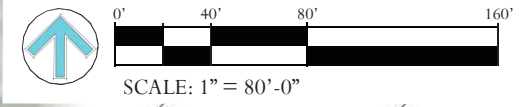
Minor cracking and edge failure due to adjacent Magnolia trees; root pruning adjacent to trees is recommended.

Minor cracking and edge failure due to adjacent Magnolia trees; root pruning adjacent to trees is recommended.

Minor cracking and edge failure due to adjacent Magnolia tree; root pruning adjacent to tree is recommended.

Minor cracking and edge failure due to adjacent Magnolia tree; root pruning adjacent to tree is recommended. This is a smaller tree so removal is also a consideration at the time of repair.

Tampa Palms Fitness Path (Areas 1 and 2)



GENERAL NOTE:
This stretch of path between Amberly and Bruce B. Downs Blvd. fluctuates between "Good Condition" and "Fair Condition" due to varying degrees of cracking adjacent to Oak trees. At this scale it is difficult to address every spot.

There is some minimal cracking along this section due to adjacent Live Oak trees. These are desirable trees to retain. Future repairs should be handled by raising grade and building on top of existing walk. Some realignment away from trees could be considered but this will require coordination with County due to Pond 300 ownership.

Pond 300

City Plaza

BRUCE B DOWNS BLVD

Cambridge

TAMPA PALMS BLVD

FITNESS PATH EVALUATION KEY

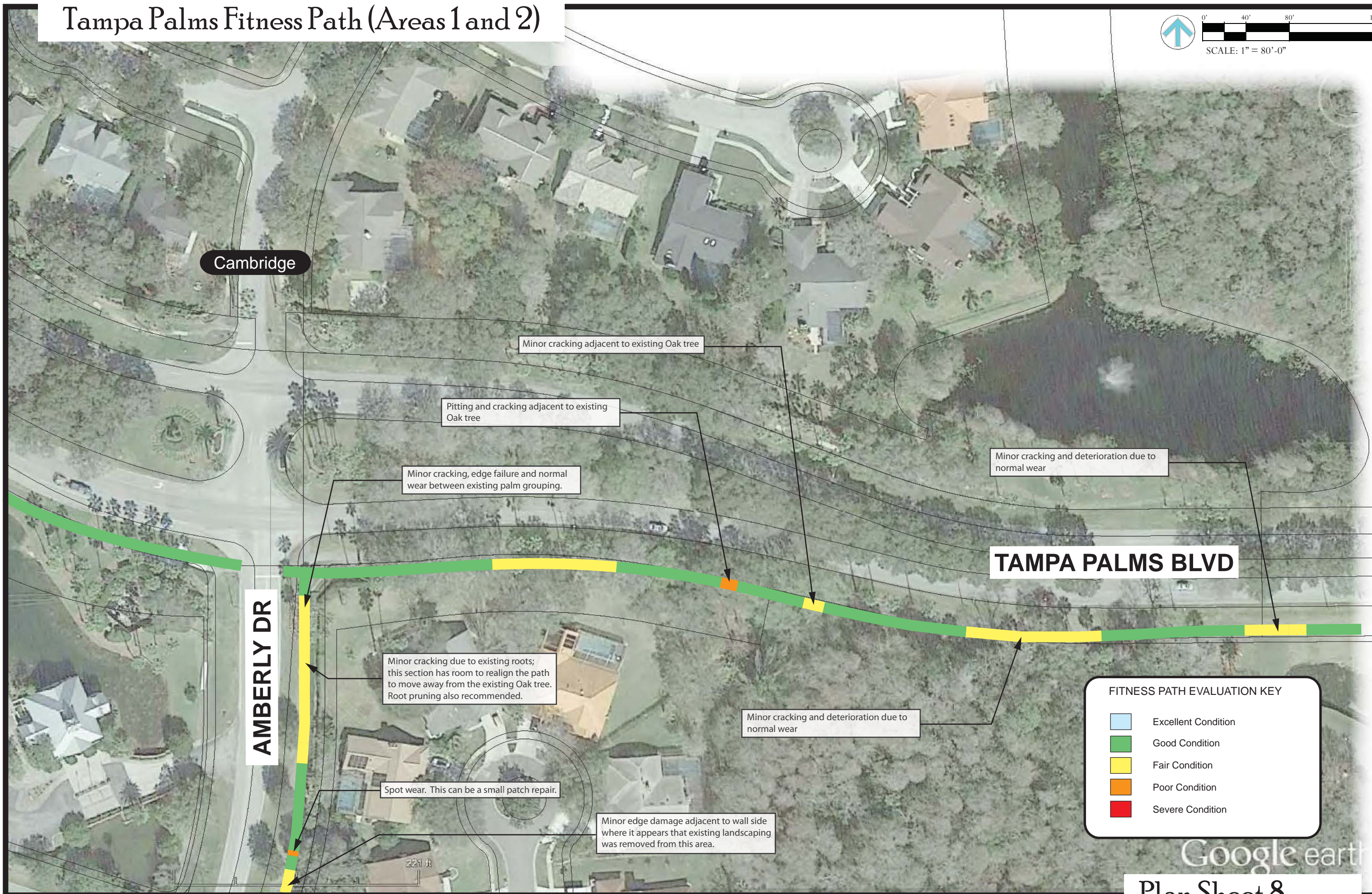
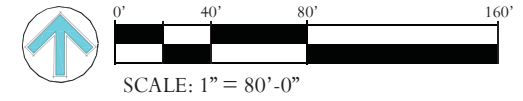
■	Excellent Condition
■	Good Condition
■	Fair Condition
■	Poor Condition
■	Severe Condition

Minor cracking due to age and normal wear.

Minor cracking due to adjacent tree roots.

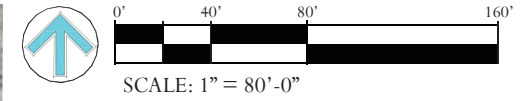
Minor cracking due to adjacent tree roots. Repair will need to raise grade and build up over existing asphalt. Drain may be needed if path is raised in the future.

Tampa Palms Fitness Path (Areas 1 and 2)



FITNESS PATH EVALUATION KEY	
	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



Cambridge II

Minor cracking due to oak tree roots. There is room to raise grade and build up on top of existing path when repair is addressed.

Minor ruts and pitting along edge of asphalt

There is cracking in this area due to tree roots from oak tree. Grade can be raised to build up existing path. Selective root pruning is also recommended.

TAMPA PALMS BLVD



Minor path edge failure and minimal cracking due to grade settlement and age/ wear. There is a leaning oak tree that could be removed at time of repair. There is also some room to shift path inward to avoid future damage.

The edge of curb at crossing is slightly raised above the path edge making both sides non-compliant with ADA standards.

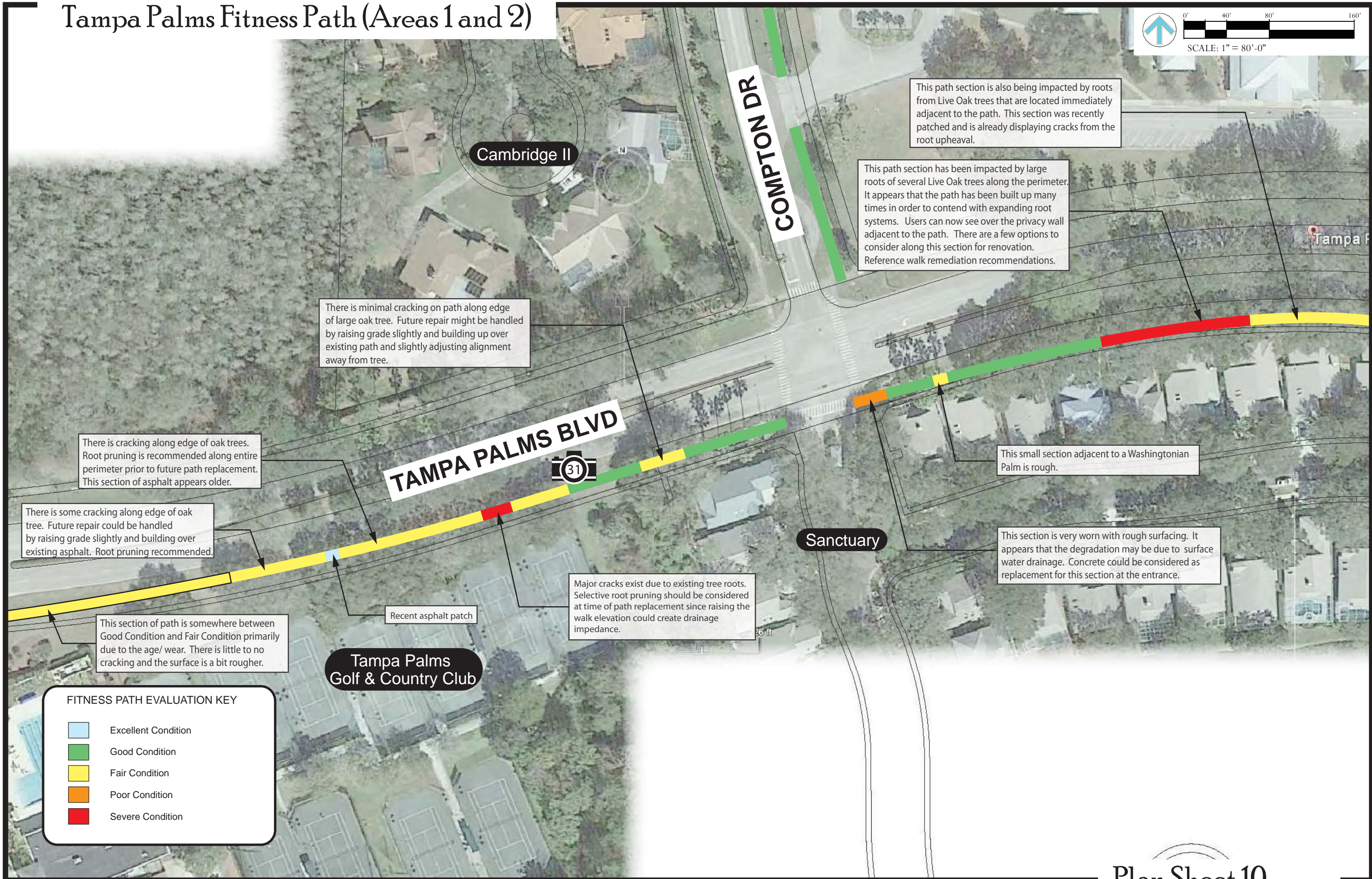
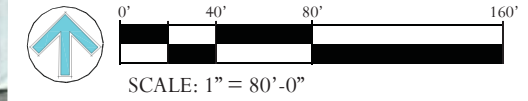
Tampa Palms Golf & Country Club

FITNESS PATH EVALUATION KEY

■	Excellent Condition
■	Good Condition
■	Fair Condition
■	Poor Condition
■	Severe Condition

Imagery Date: 2/12/2016 28°05'46.39" N 82°23'32.15" W elev 42 ft eye alt 994 ft

Tampa Palms Fitness Path (Areas 1 and 2)



Cambridge II

COMPTON DR

TAMPA PALMS BLVD



Sanctuary

Tampa Palms Golf & Country Club

FITNESS PATH EVALUATION KEY

■	Excellent Condition
■	Good Condition
■	Fair Condition
■	Poor Condition
■	Severe Condition

There is minimal cracking on path along edge of large oak tree. Future repair might be handled by raising grade slightly and building up over existing path and slightly adjusting alignment away from tree.

This path section is also being impacted by roots from Live Oak trees that are located immediately adjacent to the path. This section was recently patched and is already displaying cracks from the root upheaval.

This path section has been impacted by large roots of several Live Oak trees along the perimeter. It appears that the path has been built up many times in order to contend with expanding root systems. Users can now see over the privacy wall adjacent to the path. There are a few options to consider along this section for renovation. Reference walk remediation recommendations.

There is cracking along edge of oak trees. Root pruning is recommended along entire perimeter prior to future path replacement. This section of asphalt appears older.

This small section adjacent to a Washingtonian Palm is rough.

There is some cracking along edge of oak tree. Future repair could be handled by raising grade slightly and building over existing asphalt. Root pruning recommended.

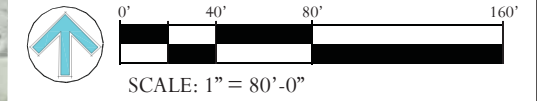
This section is very worn with rough surfacing. It appears that the degradation may be due to surface water drainage. Concrete could be considered as replacement for this section at the entrance.

This section of path is somewhere between Good Condition and Fair Condition primarily due to the age/ wear. There is little to no cracking and the surface is a bit rougher.

Recent asphalt patch

Major cracks exist due to existing tree roots. Selective root pruning should be considered at time of path replacement since raising the walk elevation could create drainage impedance.

Tampa Palms Fitness Path (Areas 1 and 2)



Palms Blvd

This path section is being impacted (to various degrees) by roots from Live Oak trees that are located immediately adjacent to the path. The sections rated as "Fair Condition" represent more recent asphalt patches that are already displaying cracks from continued root upheaval. This path has been patched and built up several times. Reference walk remediation recommendations.

Wyndham

There is minimal cracking at this section due to roots from an adjacent pine tree. Recommend removal of pine prior to reconstruction when it is deemed necessary.

Sanctuary

Goog

TAMPA PALMS BLVD

20

This path section has been impacted by large roots of several Live Oak trees along the perimeter. It appears that the path has been built up many times in order to contend with expanding root systems. The cross slope also appears to be a potential issue as appears to exceed 2%. There are a few options to consider along this section for renovation. Reference walk remediation recommendations.

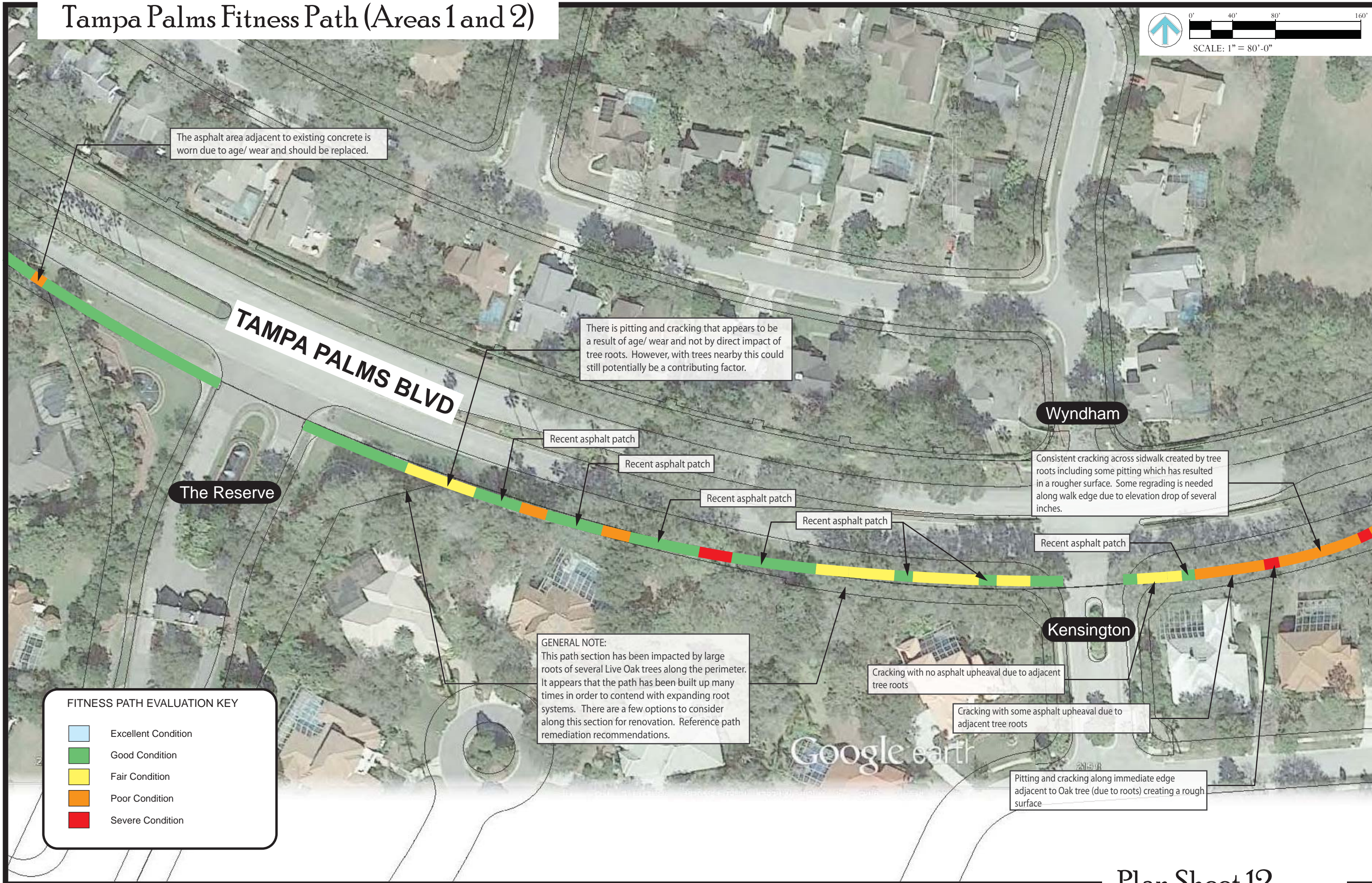
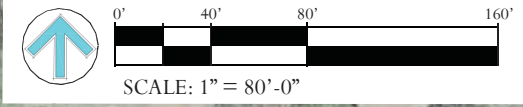
The Reserve

Google earth

FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



The asphalt area adjacent to existing concrete is worn due to age/ wear and should be replaced.

There is pitting and cracking that appears to be a result of age/ wear and not by direct impact of tree roots. However, with trees nearby this could still potentially be a contributing factor.

Consistent cracking across sidewalk created by tree roots including some pitting which has resulted in a rougher surface. Some regrading is needed along walk edge due to elevation drop of several inches.

Recent asphalt patch

Recent asphalt patch

Recent asphalt patch

Recent asphalt patch

Recent asphalt patch

The Reserve

Wyndham

Kensington

GENERAL NOTE:
This path section has been impacted by large roots of several Live Oak trees along the perimeter. It appears that the path has been built up many times in order to contend with expanding root systems. There are a few options to consider along this section for renovation. Reference path remediation recommendations.

Cracking with no asphalt upheaval due to adjacent tree roots

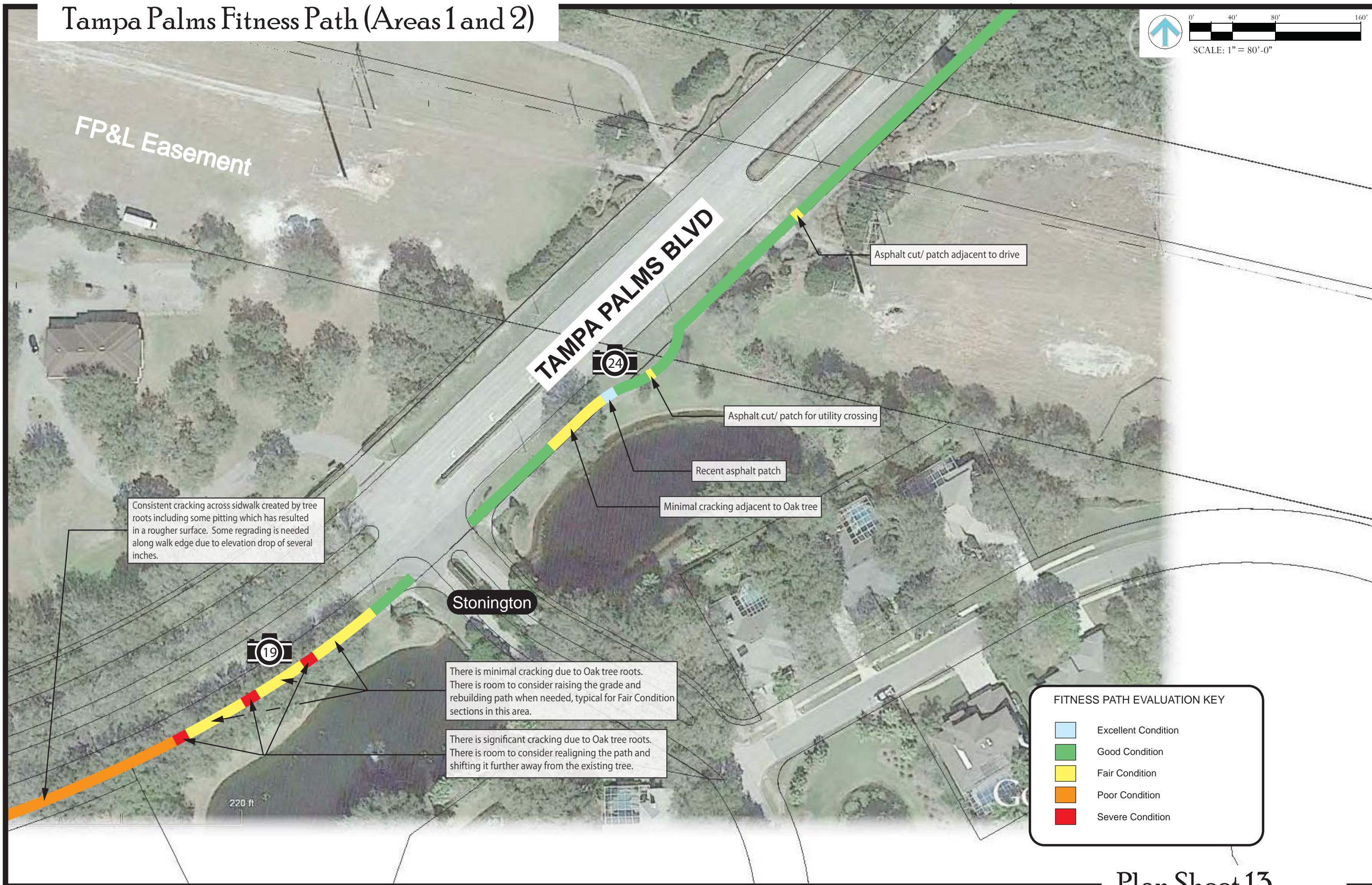
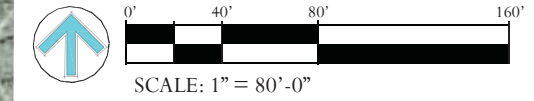
Cracking with some asphalt upheaval due to adjacent tree roots

Pitting and cracking along immediate edge adjacent to Oak tree (due to roots) creating a rough surface

FITNESS PATH EVALUATION KEY

- Excellent Condition
- Good Condition
- Fair Condition
- Poor Condition
- Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



FP&L Easement

TAMPA PALMS BLVD

Stonington

Consistent cracking across sidewalk created by tree roots including some pitting which has resulted in a rougher surface. Some regrading is needed along walk edge due to elevation drop of several inches.

Asphalt cut/ patch adjacent to drive

Asphalt cut/ patch for utility crossing

Recent asphalt patch

Minimal cracking adjacent to Oak tree

19

24

There is minimal cracking due to Oak tree roots. There is room to consider raising the grade and rebuilding path when needed, typical for Fair Condition sections in this area.

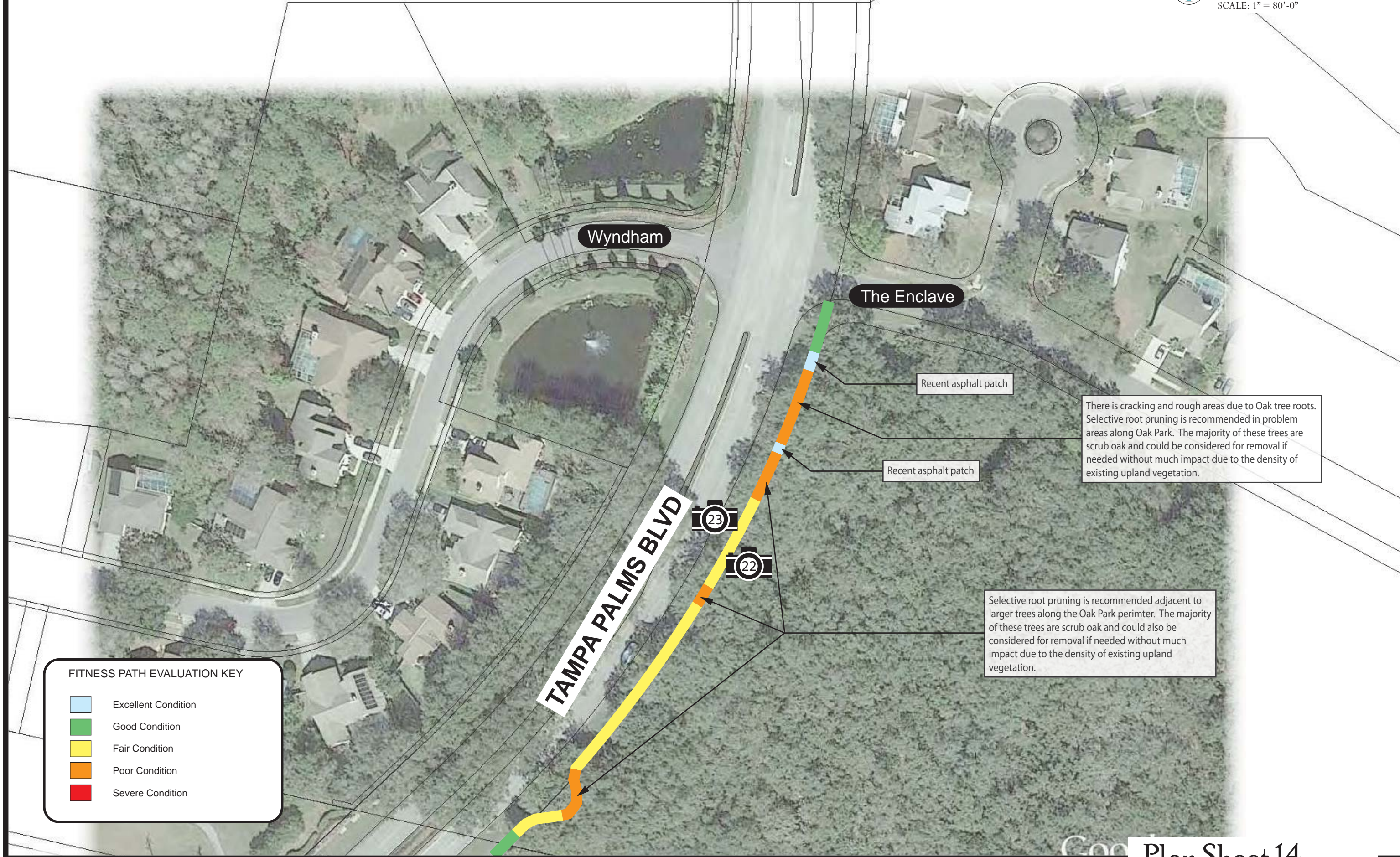
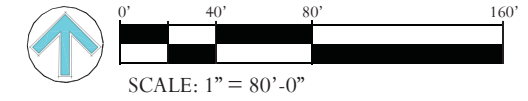
There is significant cracking due to Oak tree roots. There is room to consider realigning the path and shifting it further away from the existing tree.

220 ft






FITNESS PATH EVALUATION KEY

Light Blue	Excellent Condition
Green	Good Condition
Yellow	Fair Condition
Orange	Poor Condition
Red	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

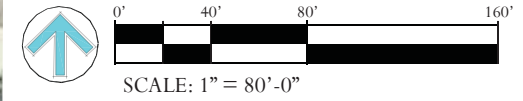
Recent asphalt patch

Recent asphalt patch

There is cracking and rough areas due to Oak tree roots. Selective root pruning is recommended in problem areas along Oak Park. The majority of these trees are scrub oak and could be considered for removal if needed without much impact due to the density of existing upland vegetation.

Selective root pruning is recommended adjacent to larger trees along the Oak Park perimeter. The majority of these trees are scrub oak and could also be considered for removal if needed without much impact due to the density of existing upland vegetation.

Tampa Palms Fitness Path (Areas 1 and 2)



Cambridge II

16

COMPTON DR

There is minimal cracking at this section due to roots from an adjacent Magnolia tree. Recommend root pruning prior to future repair work.

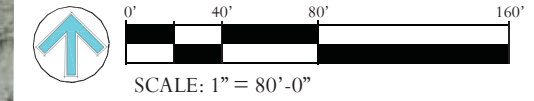
There is minimal cracking at this section due to roots from an adjacent Oak tree. Recommend root pruning prior to future repair work.

Overall this path is in good condition but there are a number of existing trees (primarily Magnolia) adjacent to the path. In order to prevent future damage it would be worth considering selective root pruning between trees and path.

FITNESS PATH EVALUATION KEY

Light Blue	Excellent Condition
Green	Good Condition
Yellow	Fair Condition
Orange	Poor Condition
Red	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



COMPTON DR

FP&L

Compton Park

Cambridge II

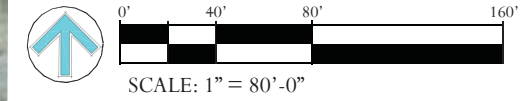
There is minimal cracking at this section due to roots from adjacent Sycamore trees. Due to the available space between walk and tree there is room for root pruning prior to future repair work.

There is a rough spot that needs repair. This is another section where root pruning can occur prior to repair.

FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



Ashmont

AMBERLY DR

There is minimal cracking and edge failure along this section

There is significant cracking due to Oak tree roots. There is room to consider realigning the path and shifting it further away from the existing tree.

There is minimal cracking and edge failure along this section

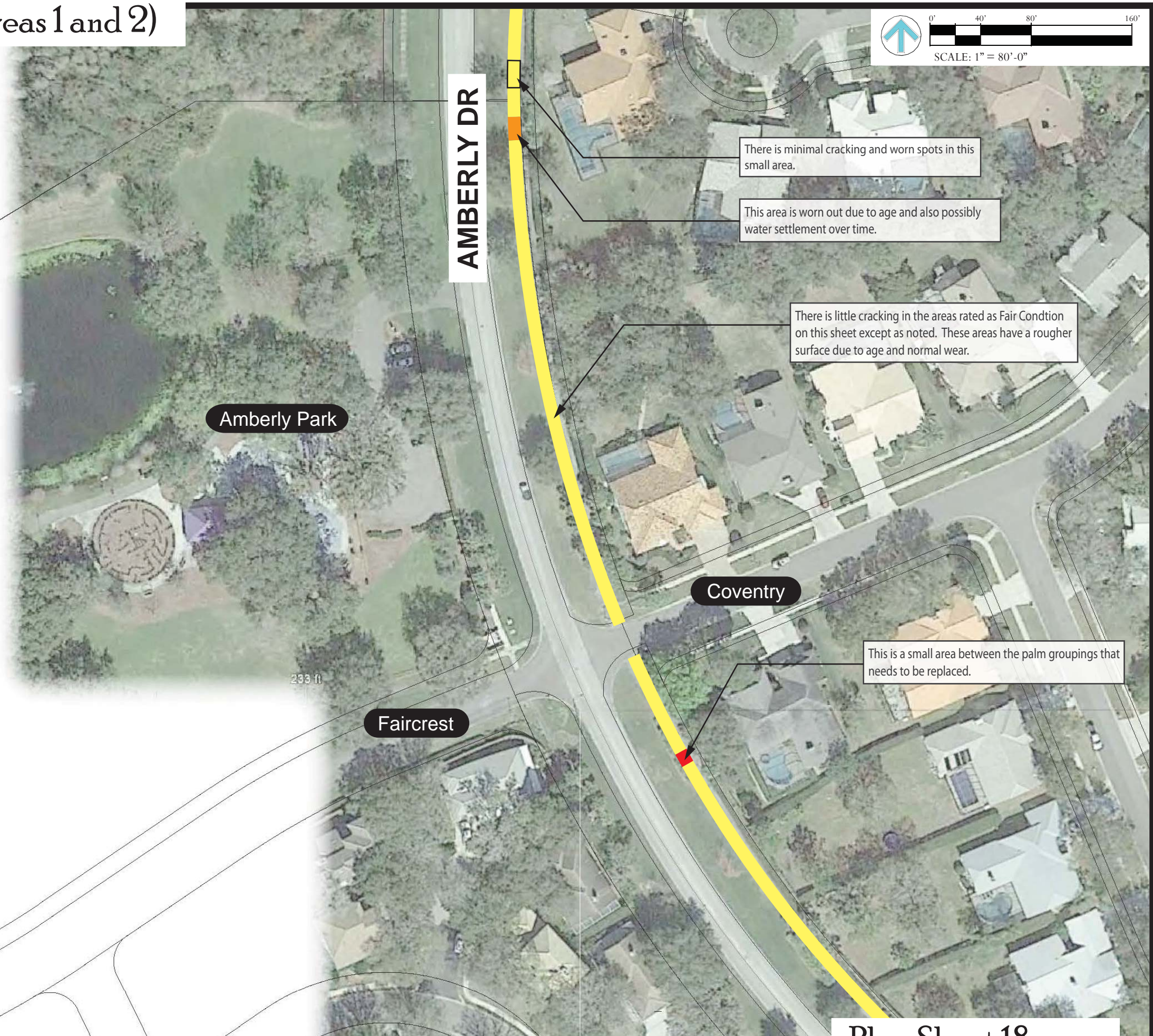
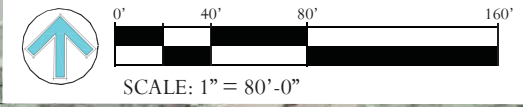
There is minimal cracking in this area adjacent to palm trees and oak tree.

There is minimal cracking and edge failure along this section

FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



AMBERLY DR

Amberly Park

Coventry

Faircrest






There is minimal cracking and worn spots in this small area.

This area is worn out due to age and also possibly water settlement over time.

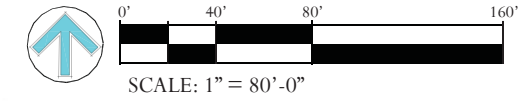
There is little cracking in the areas rated as Fair Condition on this sheet except as noted. These areas have a rougher surface due to age and normal wear.

This is a small area between the palm groupings that needs to be replaced.

FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



AMBERLY DR

The edge is failing and this small area needs to be replaced.






Overall this path is in good condition but there are a number of existing trees (primarily Oaks) within close proximity along the path. In order to prevent future damage it is worth considering selective root pruning between trees and paths.

Canterbury

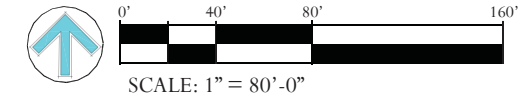
Nottingham

The areas adjacent to the curb need repair. Concrete might be a better long term solution at crossings.

FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)








Minimal cracking due to adjacent trees. Recommend selective root pruning prior to future repairs.

There is an existing Pine tree at the edge of the pathway. Roots are pushing up the edge of pavement and damaging the asphalt. The walk could be slightly realigned or the tree could be removed prior to any repair of this section.

Little to no cracking but rough, bumpy surface due to age and wear.

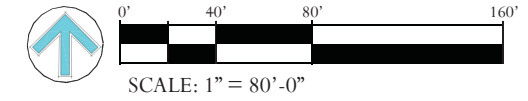
225 ft

FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

AMBERLY DR

Tampa Palms Fitness Path (Areas 1 and 2)



This section is impacted by tree roots from an adjacent Oak tree. Recommend selective root pruning prior to repair.

GENERAL NOTE:
There are a number of existing Crape Myrtle groupings located adjacent to the path along Amberly Drive. These trees do not appear to be impacting the walkway in most cases unless noted otherwise. These trees would not be considered preservation quality and should be considered for removal prior to path repair/ replacement in the future.

This section is impacted by tree roots from an adjacent trees. The surface is a bit rougher along this section as well.

This section is impacted by tree roots from an adjacent Oak tree. There is space to raise and realign the pathway to avoid tree roots.

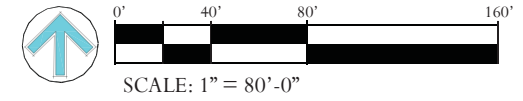
This section is impacted by tree roots from an adjacent trees. The surface is a bit rougher along this section as well.

This section is impacted by tree roots from an adjacent Oak tree. Recommend selective root pruning prior to repair.






FITNESS PATH EVALUATION KEY

Light Blue	Excellent Condition
Green	Good Condition
Yellow	Fair Condition
Orange	Poor Condition
Red	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

There is minimal cracking but the surface is a bit rougher due to older age and normal wear.

This section is impacted by tree roots from an adjacent Oak tree. There is space to raise and realign the pathway to avoid tree roots.

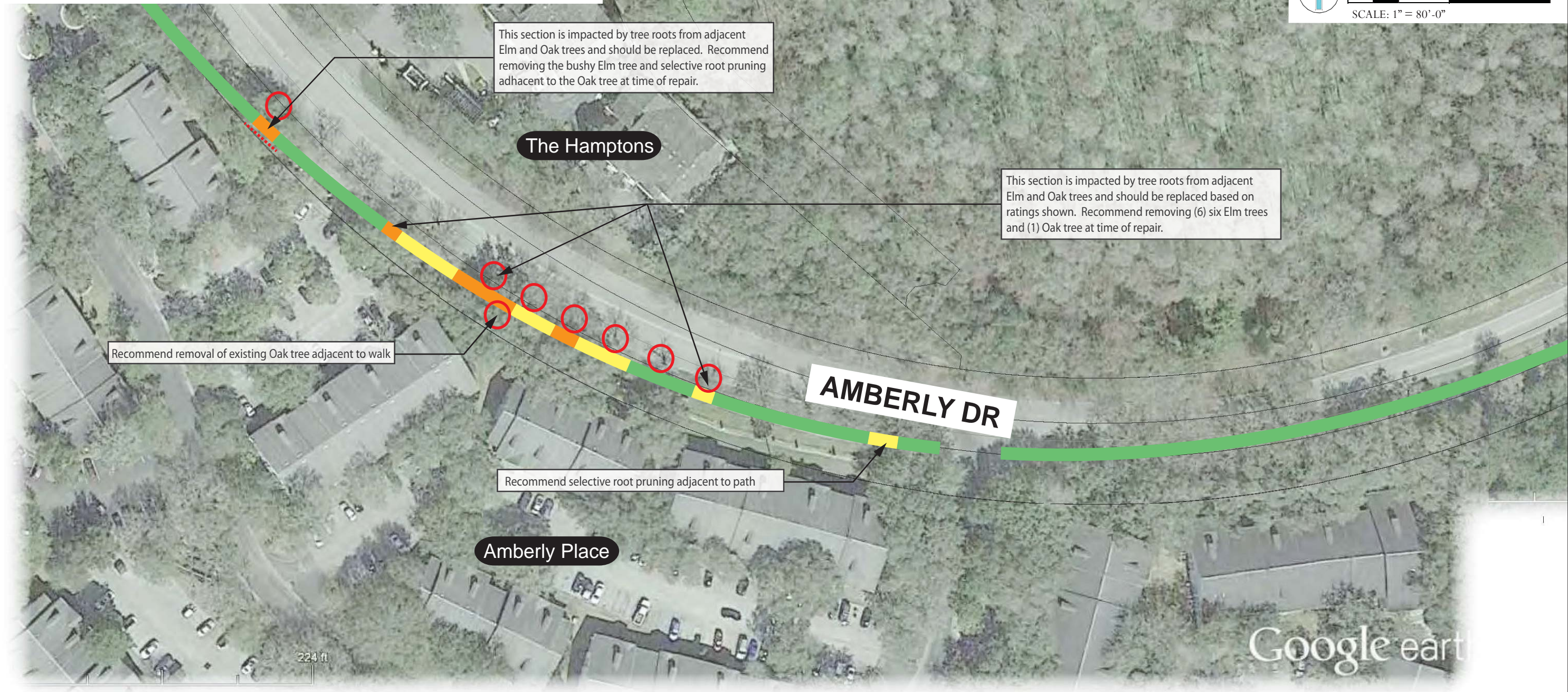
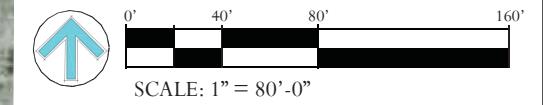
GENERAL NOTE:
This section of pathway rated as "Fair Condition" appears to be an older section of asphalt. There are small repair areas that are difficult to pinpoint along this stretch. The path runs adjacent to a wetland conservation area filled with trees. Root pruning should be considered in the future when new areas are deemed ready for replacement.

AMBERLY DR






Google earth

232 ft

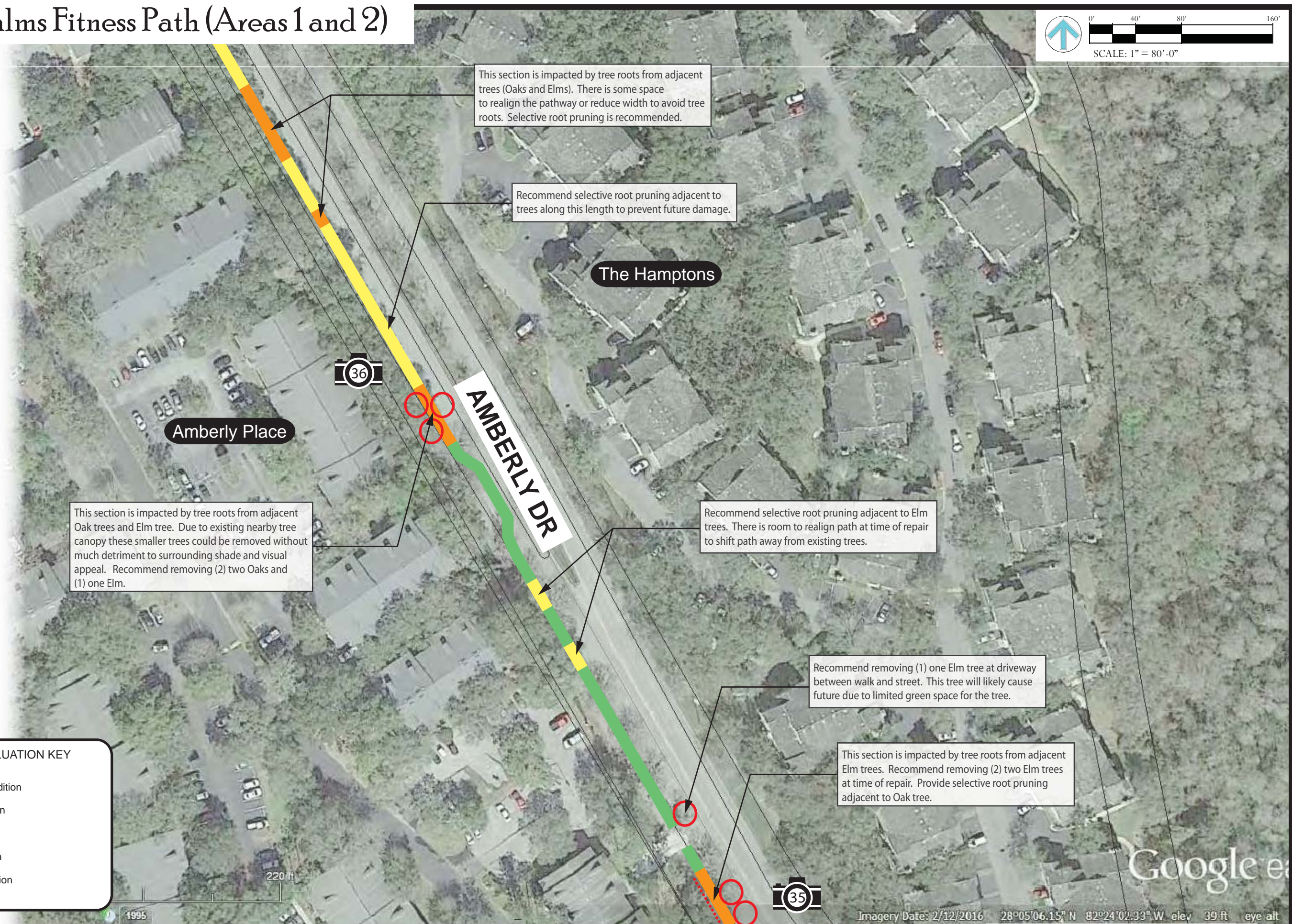
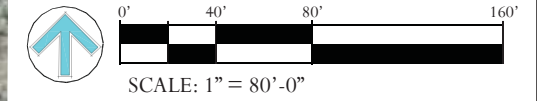
Tampa Palms Fitness Path (Areas 1 and 2)



FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



This section is impacted by tree roots from adjacent trees (Oaks and Elms). There is some space to realign the pathway or reduce width to avoid tree roots. Selective root pruning is recommended.

Recommend selective root pruning adjacent to trees along this length to prevent future damage.

The Hamptons

Amberly Place

This section is impacted by tree roots from adjacent Oak trees and Elm tree. Due to existing nearby tree canopy these smaller trees could be removed without much detriment to surrounding shade and visual appeal. Recommend removing (2) two Oaks and (1) one Elm.

Recommend selective root pruning adjacent to Elm trees. There is room to realign path at time of repair to shift path away from existing trees.

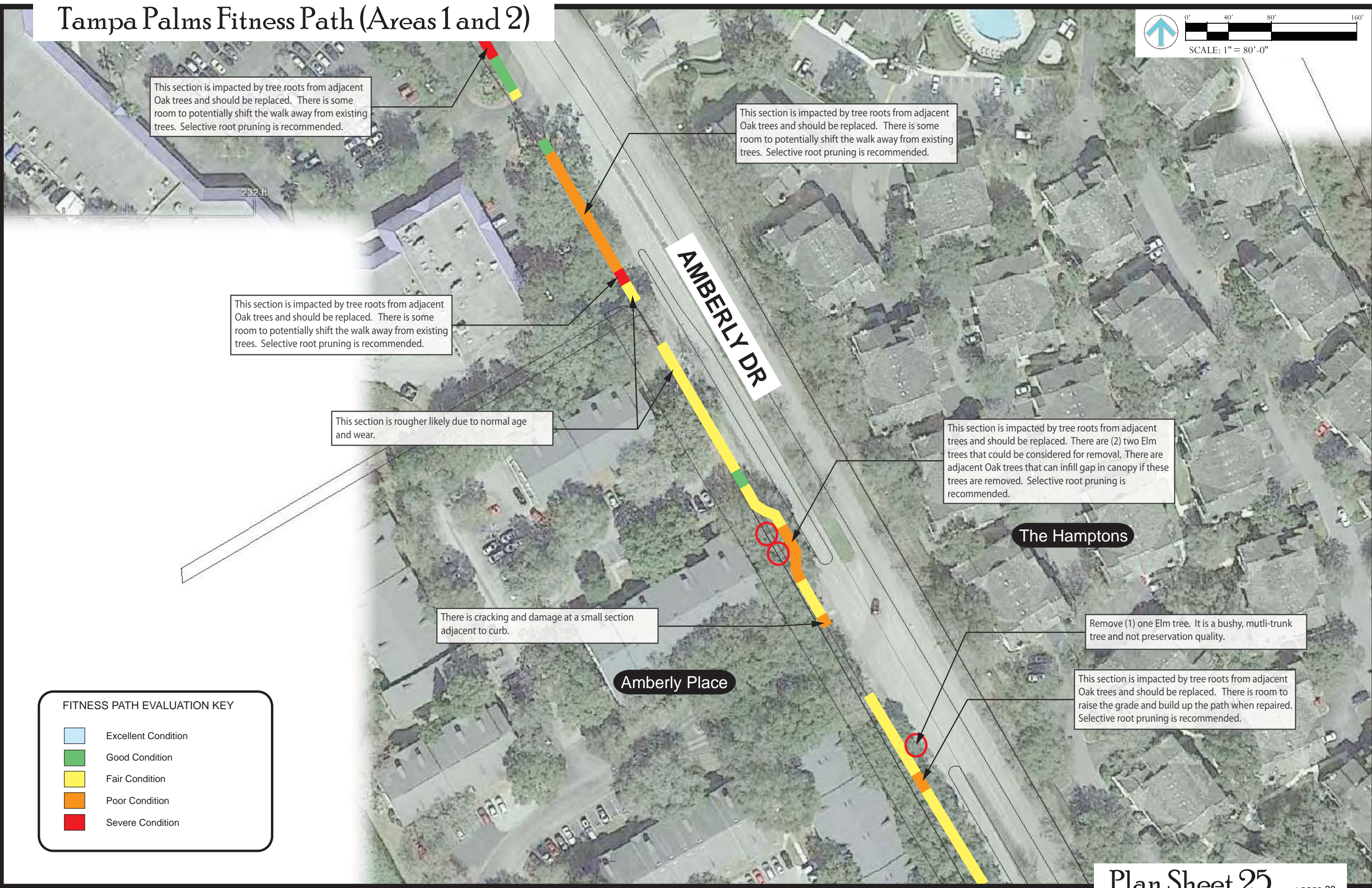
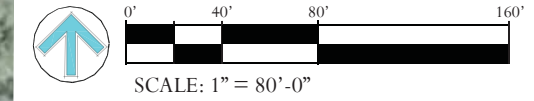
Recommend removing (1) one Elm tree at driveway between walk and street. This tree will likely cause future due to limited green space for the tree.

This section is impacted by tree roots from adjacent Elm trees. Recommend removing (2) two Elm trees at time of repair. Provide selective root pruning adjacent to Oak tree.

FITNESS PATH EVALUATION KEY

- Excellent Condition
- Good Condition
- Fair Condition
- Poor Condition
- Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



This section is impacted by tree roots from adjacent Oak trees and should be replaced. There is some room to potentially shift the walk away from existing trees. Selective root pruning is recommended.

This section is impacted by tree roots from adjacent Oak trees and should be replaced. There is some room to potentially shift the walk away from existing trees. Selective root pruning is recommended.

This section is impacted by tree roots from adjacent Oak trees and should be replaced. There is some room to potentially shift the walk away from existing trees. Selective root pruning is recommended.

This section is rougher likely due to normal age and wear.

This section is impacted by tree roots from adjacent trees and should be replaced. There are (2) two Elm trees that could be considered for removal. There are adjacent Oak trees that can infill gap in canopy if these trees are removed. Selective root pruning is recommended.

There is cracking and damage at a small section adjacent to curb.

Remove (1) one Elm tree. It is a bushy, mutli-trunk tree and not preservation quality.

This section is impacted by tree roots from adjacent Oak trees and should be replaced. There is room to raise the grade and build up the path when repaired. Selective root pruning is recommended.

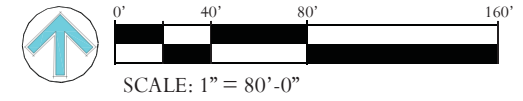
FITNESS PATH EVALUATION KEY

- Excellent Condition
- Good Condition
- Fair Condition
- Poor Condition
- Severe Condition

The Hamptons

Amberly Place

Tampa Palms Fitness Path (Areas 1 and 2)



BRUCE B DOWNS BLVD

AMBERLY DR

Shoppes of Amberly

This section is impacted by tree roots from adjacent Oak trees and should be replaced. Selective root pruning is recommended. Reference remediation options for potential repair considerations in this area.

This is a large Oak tree but it has a noticeable cavity in the trunk base and irregular canopy. This tree does not appear to be preservation quality. It should be considered for removal prior to repair work.






This section is impacted by tree roots from adjacent Oak trees and should be replaced. There is some room to potentially shift the walk away from existing trees. Selective root pruning is recommended.

Google earth

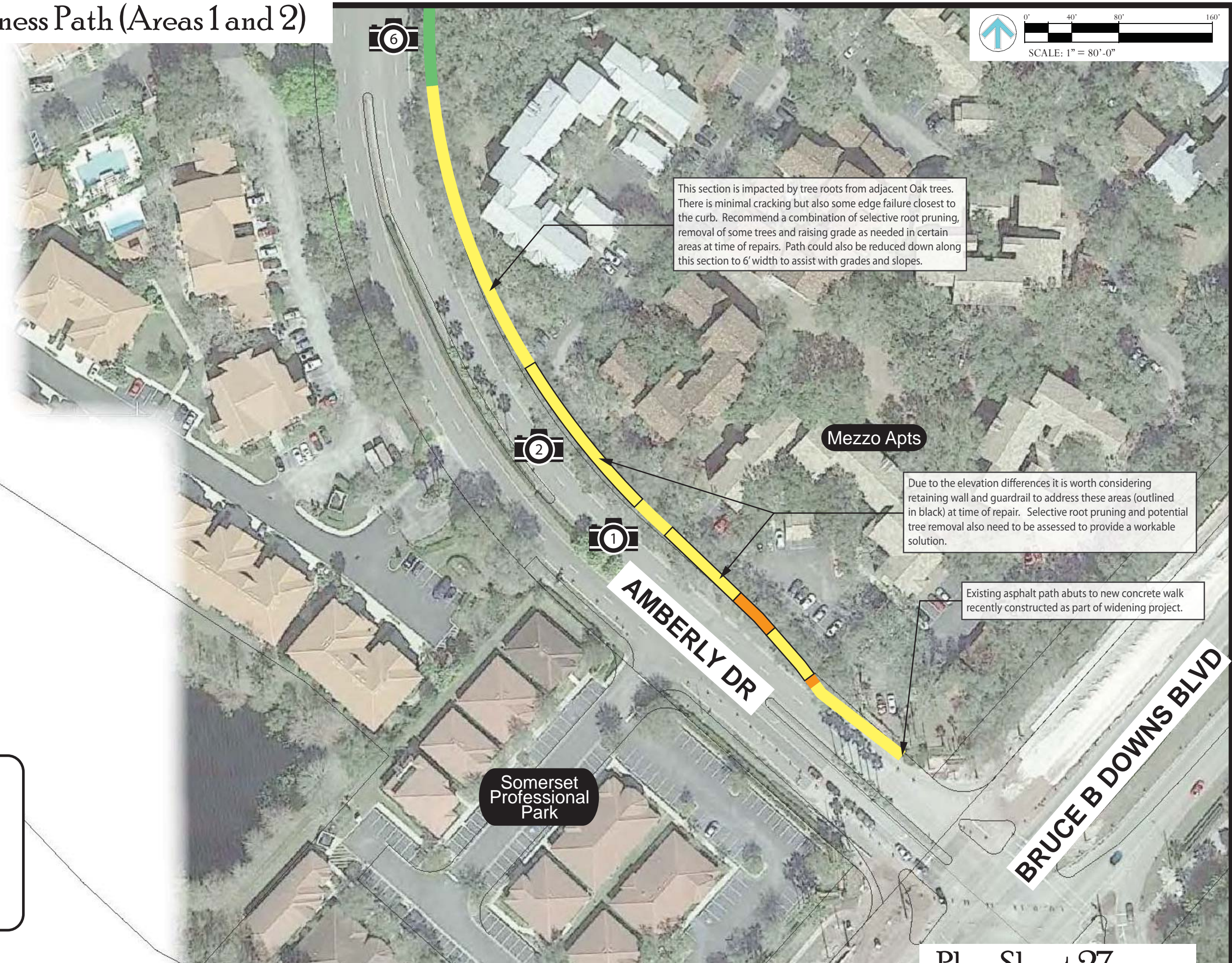
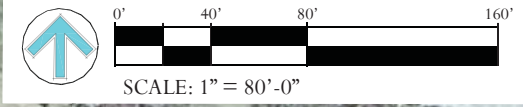
The Hamptons



FITNESS PATH EVALUATION KEY

	Excellent Condition
	Good Condition
	Fair Condition
	Poor Condition
	Severe Condition

Tampa Palms Fitness Path (Areas 1 and 2)



This section is impacted by tree roots from adjacent Oak trees. There is minimal cracking but also some edge failure closest to the curb. Recommend a combination of selective root pruning, removal of some trees and raising grade as needed in certain areas at time of repairs. Path could also be reduced down along this section to 6' width to assist with grades and slopes.

Due to the elevation differences it is worth considering retaining wall and guardrail to address these areas (outlined in black) at time of repair. Selective root pruning and potential tree removal also need to be assessed to provide a workable solution.

Existing asphalt path abuts to new concrete walk recently constructed as part of widening project.

FITNESS PATH EVALUATION KEY

- Excellent Condition
- Good Condition
- Fair Condition
- Poor Condition
- Severe Condition

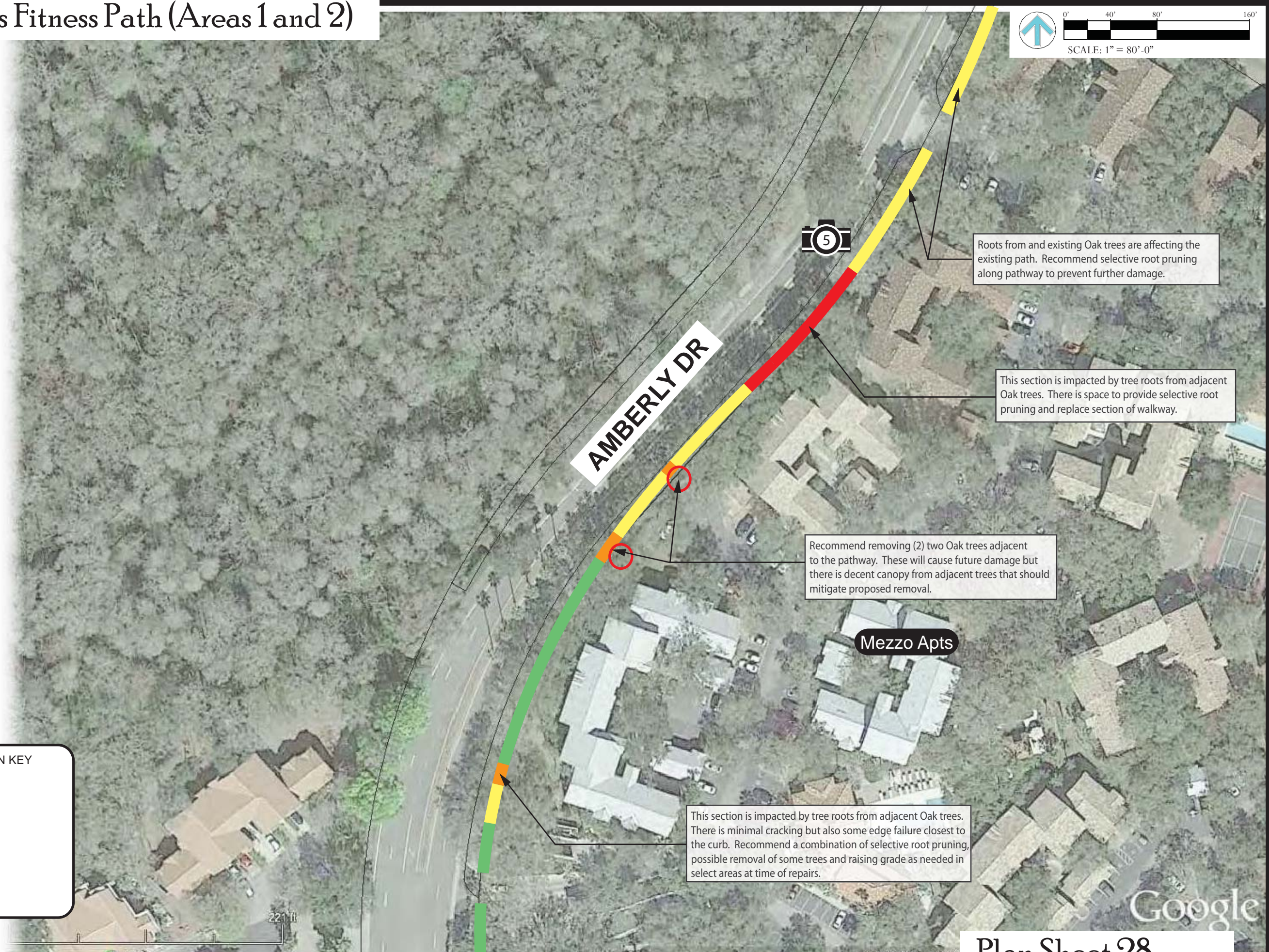
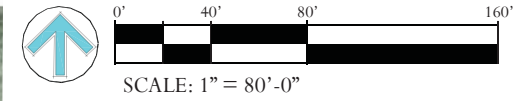
Somerset Professional Park

Mezzo Apts

AMBERLY DR

BRUCE B DOWNS BLVD

Tampa Palms Fitness Path (Areas 1 and 2)



Roots from existing Oak trees are affecting the existing path. Recommend selective root pruning along pathway to prevent further damage.

This section is impacted by tree roots from adjacent Oak trees. There is space to provide selective root pruning and replace section of walkway.

Recommend removing (2) two Oak trees adjacent to the pathway. These will cause future damage but there is decent canopy from adjacent trees that should mitigate proposed removal.

This section is impacted by tree roots from adjacent Oak trees. There is minimal cracking but also some edge failure closest to the curb. Recommend a combination of selective root pruning, possible removal of some trees and raising grade as needed in select areas at time of repairs.

FITNESS PATH EVALUATION KEY

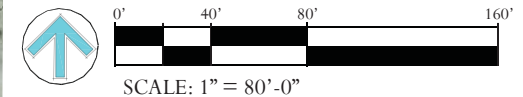
- Excellent Condition
- Good Condition
- Fair Condition
- Poor Condition
- Severe Condition

Mezzo Apts

AMBERLY DR

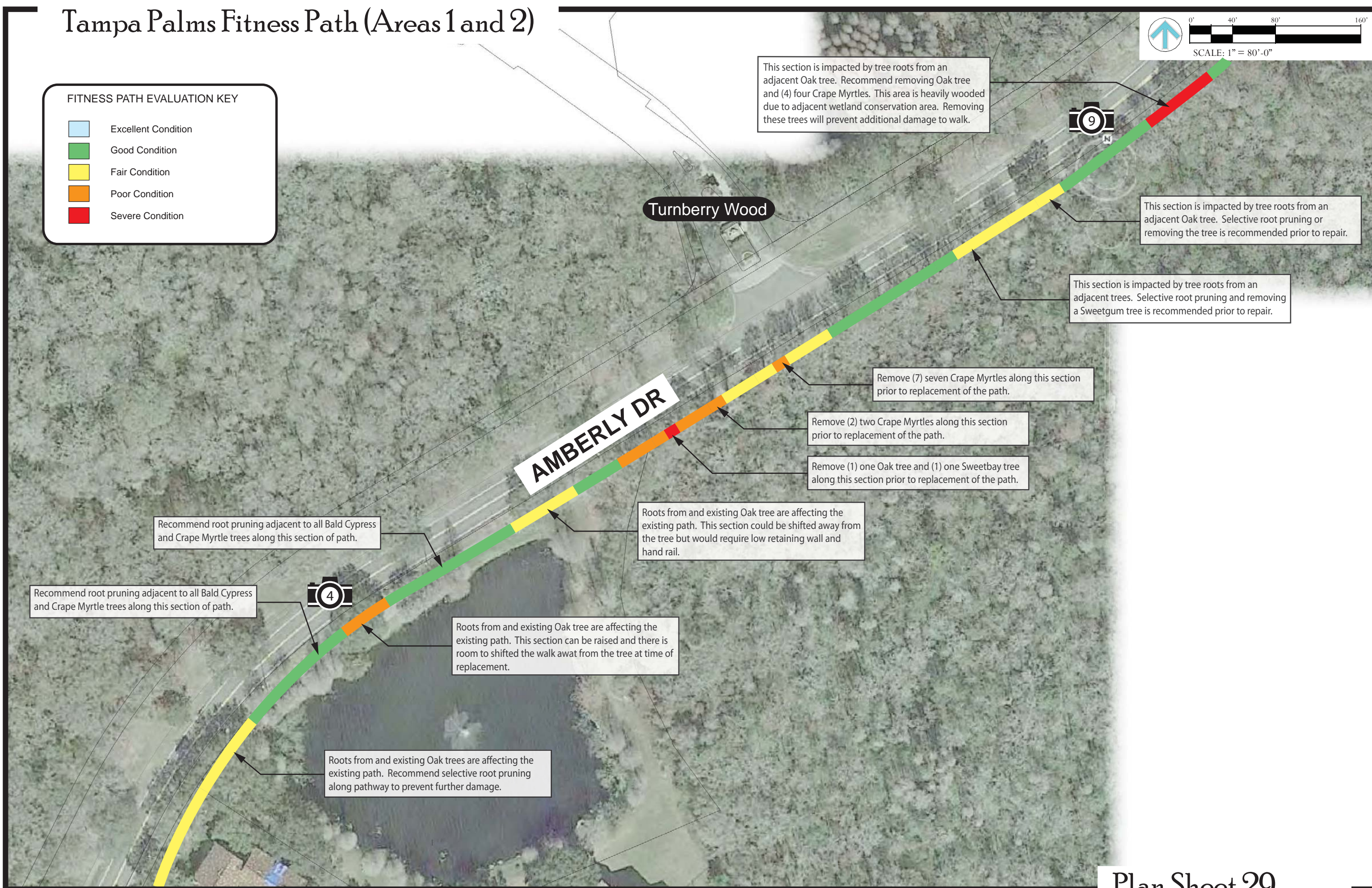


Tampa Palms Fitness Path (Areas 1 and 2)



FITNESS PATH EVALUATION KEY

- Excellent Condition
- Good Condition
- Fair Condition
- Poor Condition
- Severe Condition



This section is impacted by tree roots from an adjacent Oak tree. Recommend removing Oak tree and (4) four Crape Myrtles. This area is heavily wooded due to adjacent wetland conservation area. Removing these trees will prevent additional damage to walk.

This section is impacted by tree roots from an adjacent Oak tree. Selective root pruning or removing the tree is recommended prior to repair.

This section is impacted by tree roots from an adjacent trees. Selective root pruning and removing a Sweetgum tree is recommended prior to repair.

Remove (7) seven Crape Myrtles along this section prior to replacement of the path.

Remove (2) two Crape Myrtles along this section prior to replacement of the path.

Remove (1) one Oak tree and (1) one Sweetbay tree along this section prior to replacement of the path.

Roots from an existing Oak tree are affecting the existing path. This section could be shifted away from the tree but would require low retaining wall and hand rail.

Recommend root pruning adjacent to all Bald Cypress and Crape Myrtle trees along this section of path.

Recommend root pruning adjacent to all Bald Cypress and Crape Myrtle trees along this section of path.

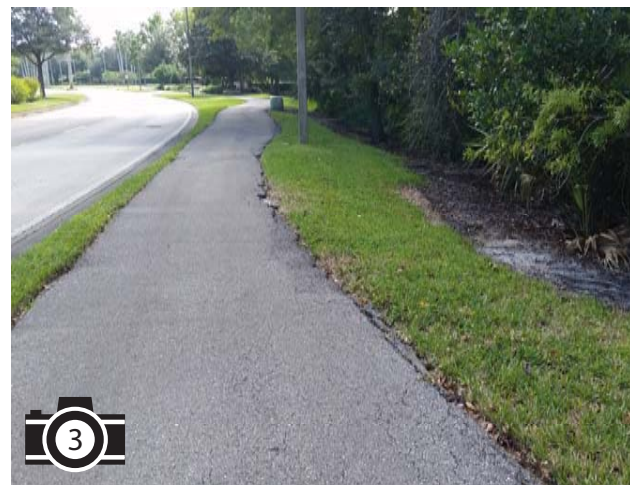
Roots from an existing Oak tree are affecting the existing path. This section can be raised and there is room to shifted the walk away from the tree at time of replacement.

Roots from an existing Oak trees are affecting the existing path. Recommend selective root pruning along pathway to prevent further damage.

Turnberry Wood

AMBERLY DR

Tampa Palms Fitness Path (Areas 1 and 2)



Tampa Palms Fitness Path (Areas 1 and 2)



Tampa Palms Fitness Path (Areas 1 and 2)



Tampa Palms Fitness Path (Areas 1 and 2)

SUMMARY

There are several areas of the multi-modal path that were determined to be in fair, poor or severe conditions. The areas rated as "Fair Condition" are not immediate concerns and in most cases will likely continue to serve users without any repair/ replacement needed within the next few years. However due to the presence of existing trees in many of these areas it is highly recommended to consider selective root pruning. This practice could help alleviate many future issues with tree roots that are being encountered in other more severe sections.

As for the areas rated as "Poor Condition" or "Severe Condition" there are a number of remediation options to consider. In all cases the existing trees should try to be protected and maintained if they are preservation quality. The trees throughout Tampa Palms create exceptional shade along the path and provide tremendous visual appeal to the community. It is vitally important that path remediation works around existing trees to the best extent feasible. In some areas this may be difficult to replace a path without removing tree select due to repair costs or physical limitations of the context. In other locations trees may not be missed due to adjacent conservation areas or nearby trees.

Overall there are sections within Areas 1 and 2 that have been designated as most problematic (receiving extended lengths of "Poor Condition" or "Severe Condition" ratings).

These areas are as follows:

AREA 1

- 1.1 Sanctuary to The Reserve (along Tampa Palms Boulevard)
- 1.2 The Reserve to Kensington (along Tampa Palms Boulevard)
- 1.3 Kensington to Stonington (along Tampa Palms Boulevard)
- 1.4 Stonington to Enclave primarily along Live Oak Park (along Tampa Palms Boulevard)
- 1.5 Shoppes of Amberly (along Amberly Drive)
- 1.6 Amberly Place (along Amberly Drive)

AREA 2

- 2.1 Mezzo Apartments to Bruce B. Downs Boulevard (along Amberly Drive)

REMEDIATION OPTIONS

There are a number of options to consider for path replacement within the areas that have been rated in "Poor Condition" or "Severe Condition". These include the following approaches for consideration in resolving the most problematic areas:

- A. Provide selective root pruning adjacent to trees in ALL options except for Item 6.
- B. Raise grade and replace path with new asphalt. Transition side slopes as needed.
- C. Realign path where space allows.
- D. Reduce width of path from average 8' down to 6' width to provide some additional offsets from conflicts where needed.
- E. Remove path, raise subgrade and replace path with new reinforced (rebar, not mesh) concrete. In some cases retaining wall/elevated curbing may be needed. Transition side slopes as needed. Provide tree aeration wells within walk.
- F. Utilize a concrete boardwalk system (Permatrak; www.permatrak.com) with railing to replace path section.
- G. Selective tree removal. Avoid removing complete sections of large trees and consider the shade value and visual appeal that will be impacted.

The ultimate solution will depend upon existing context including tree locations, tree sizes, stormwater drainage, utilities, width available, and elevations. This will require updated survey to locate these elements to determine the best approach to minimize impact to existing trees.



Proposed Planned Development (PDA)

This is just background information, provided as an aide to supervisors in the event that citizens ask questions about the matter.

As was mentioned briefly during the November meeting, there is a proposed development on the Guinta property which lies just south of Tampa Palms (across Cypress Creek) on the west side of Bruce B Downs. This is the same site where the condominium complex was proposed and rejected in 2007. The 2007 rejection came about for many reasons, traffic handling, wetlands management etc. Many of those issues have been addressed.

The current proposal is for a “Planned Development- Mixed Use” rather than standard zoning because commercial uses are now included. The plan is for 812 units; this is a substantial reduction from the 1484 units proposed in 2007.

	Units*	SF
Multi-family Attached Neighborhood	812	
Commercial Office Space		26,000 149,000
* Proposed as condominium and rental, and possibly student rental with 6 student per unit		



As mentioned above, many of the conditions that led to the application’s rejection in 2007 no longer exist:

- The wetlands protection is better articulated.
- There are commercial options included, effectively reducing the density.
- The widening of BB Downs has increased traffic capacity for the area.

The single issue that is creating some concern with parents in Tampa Palms is the impact on the schools. It has been reported that Chiles is approaching 900 students and Tampa Palms 1,000. Liberty and Freedom are equally overloaded. There is no vacant land for additional elementary schools in Tampa Palms so parents are beginning to worry.... Rightfully.

The site plan for the proposed development follows.

There will be a Zoning Master Meeting to consider this application will be held

Tuesday, Jan 17, 2017
6 PM
County Center, Downtown Tampa

